

TOWN OF CHAPIN
Planning Commission
Special Called Meeting Agenda
Council Chambers, Chapin Town Hall
September 29, 2025
3:00 PM

AGENDA

Call to Order and Determine Quorum

Statement of Freedom of Information Act Compliance

Public Comments related to agenda items

Action Items

1. Site Plan Review
 - a. TMS# 000700-01-017, 515 Columbia Avenue - Express Oil
 - b. TMS# 000700-01-017, 519 Columbia Avenue - Carolina Wings
2. Ordinance Recommendation – 100% Annexation Petition and Zoning Map Amendment of a 14-acre tract (TMS #000700-06-017) of land including adjacent and abutting rights-of-way to be zoned Residential

Adjourn

PUBLIC COMMENT POLICY

PROCEDURE:

Persons wishing to make public comments concerning items related to the current meeting agenda, except for personnel and contractual matters, shall first sign in with the Municipal Clerk before the meeting and provide the following information:

1. Name, Address, and Contact Information;
2. Topic of Public Comment; and
3. Indicate whether a Chapin Resident, Chapin Water/Sewer Customer, or Reside in the Chapin Water/Sewer District.

Comments are limited to three (3) minutes per person and no personal or verbal attacks will be entertained. The Council is interested in hearing your concerns, but speakers should not expect action or deliberation on subject matter brought up during any Public Comments on the agenda. Topics requiring further investigation may be referred to Town Staff and may be scheduled for a future agenda.

DEFINITIONS:

Chapin Resident: Reside in Town limits.

Chapin Water/Sewer Customer: Customer of the designated Chapin Water/Sewer District - Including an owner or operator of a local business.

Reside in Chapin Water/Sewer District: Reside in the designated Chapin Water/Sewer District – Area of Lexington County north of Lake Murray.

APPEARANCE OF CITIZENS

Town Code 2.212 – Any citizen of the Town shall be entitled to be placed on the agenda of any regular meeting to discuss any municipal matter, except for personnel and contractual matters. Persons desiring to be placed on the agenda shall notify the Municipal Clerk not less than a week prior to the meeting. The request shall be in writing stating the reason therefor.

Staff Evaluation of Development Planning Commission

Property Location: 515 Columbia Ave
Tax Map Number: 000700-01-017
Property Zoning District: Corridor Commercial (CC)
Property Overlay District: Corridor
Applicant: Brittany Youngblood – Express Oil (EO)

Date: September 22, 2025

The applicant is proposing the construction of an Express oil on a property located off of Columbia Ave. across from Goodwill and next to McCallister's commercial sub-division. This parcel was approved to be sub-divided into 3 parcels and is approx. This parcel was designated as Lot B from the original parcel and is approximately .80 of an acres and requires 5% of open space.

Open Space / Buffers / Lot size:

The parcel is proposed at .80 acres. This would require 5% of the area for open space.

Parking:

Total size of the building is 2957 Sq. Ft. / 1 space per 150 Sf = 25 Spaces. Applicant has planned for 13 spaces. Appears to be short of minimum required.

Recommendations from Staff:

- Revised landscape and tree mitigation details. Peach (McAlister's) responsible for clearing and replacement landscaping of sub-division. **In Compliance Code 7.6.6**
- Required tree mitigation would be 11 trees added to EO for replacement. **(1 canopy tree per 6000sq ft) 6 trees planned for EO – In Compliance**
- Parking appears to be short of the minimum required. 25 (Table 8.4.1) **Request written agreement for overflow spaces with others.**
- Lighting plan coordination with others in sub-division.
- Request more information with traffic study to overall site EO has revised access/entry locations to eliminate congestion at Northern end. **Kimley >>Horn is working on an update study for entire project layout.**

Staff Evaluation of Development Planning Commission

Property Location: 519 Columbia Ave
Tax Map Number: 000700-01-017
Property Zoning District: Corridor Commercial (CC)
Property Overlay District: Corridor
Applicant: Wade Bozeman / Jake Modestow – **Carolina Wings (CW)**

Date: September 22, 2025

The review of this project (Lot C) is the final completion of the 3-plat separation that was approved in 2024.

This commercial development within the Town of Chapin was approved into 3 separate developments. The breakdown consisted of the following: **Lot A** is McAlister's, General Retail and Fast Food. **Lot B** is proposed as Express Oil & **Lot C** is being proposed of Carolina Wings (Approx 1.50 acres).

Recommendations from PC:

- Revised and updated landscaping plan to show new open space and removal of dead trees. Peach (McAlister's) responsible for clearing and replacement landscaping of sub-division. **In Compliance. Code 7.6.6**
- Required tree mitigation would be 11 trees added to CW for replacement. (1 canopy tree per 6000sq ft) 15 trees planned for CW. **In Compliance**
- Revised sidewalk connection to the interconnection roadways for pedestrian access. CW updated plans to show sidewalk (C 2.0). **PC to make final recommendation.**
- Requested pedestrian crosswalks and stop signs to be defined. CW has updated their drawings **In compliance.**
- Lighting plan coordination with others in sub-division – *According to CW the heads cannot be identical. However, light poles are the same.*
- Parking proposal plan for CW meets the requirements of the Code and a total of 62 spaces with 3 ADA spaces are provided. **In compliance Code 8.4. (Table 8.4.1.)**
- Kimley >>Horn will be present to discuss layout.

Recommendations from Staff:

- Setbacks are in compliance. Open Space meets requirements of Code.
- Recommend removing tree at end of drive to eliminate any hazards.
- Removable of existing trees at front entrance and adding additional landscaping and trees
- Recommend 3rd party review of TIS for mitigation with traffic and all access points to eliminate congestion.

SEAL:
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

CO. SEAL:
NOT FOR CONSTRUCTION

OWNER / DEVELOPER
CW MARINA, LLC DBA CAROLINA WINGS
(ATTN: ROB SCHOLMEESTER)
1000 MARINA ROAD, SUITE D, IRMO, SC 29063
PHONE: 803.206.0320 EMAIL: ROB@CAROLINAWINGS.COM

PROJECT DESCRIPTION:
CAROLINA WINGS RESTAURANT
COLUMBIA AVENUE, TOWN OF CHAPIN, LEXINGTON COUNTY, SC

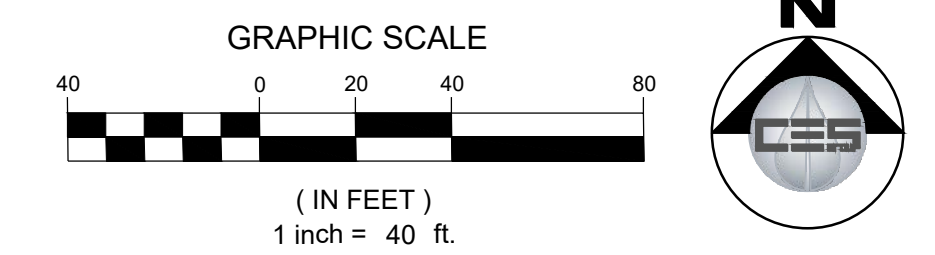
PROJECT NO:
8397.0624CD
ISSUE DATE: 09/19/2025
DRAWING REVISIONS

NO.	REVISION DESC.	DATE
1	PER PC AND ARB COMMENTS	08/08/25

DRAWN BY: WAS REVISD BY: -
CHECKED BY: RTC ISSUED BY: -

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
C2.0



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY LINE
====	PROPOSED CURB AND GUTTER
- - - -	PROPOSED SETBACK LINE
---	PROPOSED BUFFER LINE
- - - -	EXISTING SCDOT SETBACK
▨	PROPOSED CONCRETE
▨	PROPOSED OPEN SPACE
▨	EXISTING ACCESS EASEMENT
▨	PROPOSED LIGHT DUTY PAVEMENT AREA
▨	PROPOSED HEAVY DUTY PAVEMENT AREA
▨	PROPOSED 10' SANITARY SEWER EASEMENT
▨	PROPOSED 10' ELECTRIC SERVICE EASEMENT
▨	PROPOSED 10' GAS SERVICE EASEMENT

SITE DATA TABLE

PARCEL # : 000700-01-017

COLUMBIA AVENUE

ZONING: CC (CORRIDOR COMMERCIAL) (TOWN OF CHAPIN)

LOT C - PROPOSED USE
RESTAURANT
(SEE NOTE A BELOW)

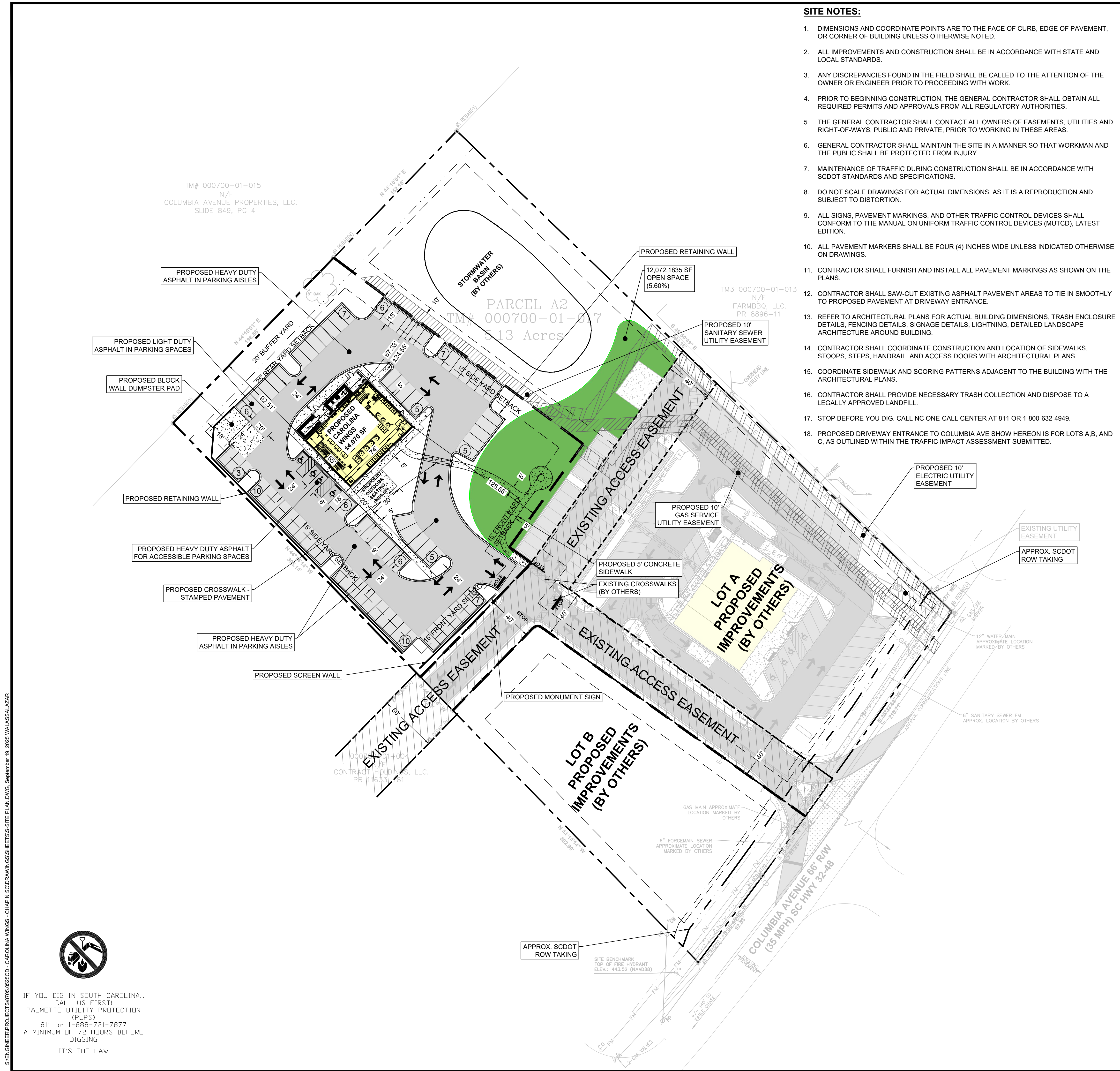
ZONING REQUIREMENT	REQUIRED	EXISTING (ORIGINAL PARCEL)	PROPOSED (LOT C)
MINIMUM LOT WIDTH	50 FT	372.89 FT	198.56 FT
MINIMUM LOT SIZE	NONE	4.95 AC	1.49 AC
MAXIMUM LOT COVERAGE	70%	0%	(SEE NOTE A BELOW) ENTIRE SITE (LOTS A,B AND C = 64.52%) (LOT C ONLY = ±63.35%)
MINIMUM FRONT YARD SETBACK	15 FT	N/A	128.66 FT
MAXIMUM FRONT YARD SETBACK	NONE	N/A	N/A
MINIMUM SIDE YARD SETBACK	15 FT	N/A	67.33 FT
MINIMUM REAR YARD SETBACK	25 FT	N/A	92.51 FT
BUILDING HEIGHT	65 FT	N/A	< 65 FT
S-48 COLUMBIA AVENUE SETBACK	30 FT	N/A	N/A
MINIMUM OPEN SPACE	5.00%	N/A	(SEE NOTE A BELOW) ENTIRE SITE (LOTS A, B, AND C = ±5.60%) (LOT C ONLY = ±10.43%)

NOTE A:
PROPOSED LOT A, B, AND C ARE TO BE DEVELOPED SEPARATELY IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. ANTICIPATED SCHEDULE IS UNKNOWN AT THIS TIME. OPEN SPACE, MAXIMUM LOT COVERAGE, STORMWATER MANAGEMENT, WATER AND SEWER UTILITIES, SCDOT ACCESS, AND TREE MITIGATION/LANDSCAPE REQUIREMENTS OF ENTIRE SITE (AS FULLY DEVELOPED) WAS REVIEWED AND APPROVED BY THE TOWN OF CHAPIN UNDER THE DEVELOPMENT APPLICATION OF LOT A FOR A MCALISTER'S DELI.

OFF STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
8.4.1	REQUIRED PARKING: - ENTER PARKING REQUIREMENT WITH CALCULATION OF REQUIRED SPACES TOTAL REQUIRED SPACES: 1 SPACE / 2 SEATS OR 1 SPACE / 75 SF OF DINING AREA, INCLUDING OUTDOOR AREAS, WHICHEVER IS GREATER 124 SEATS/2 SEATS = 62 SPACES OR (3,600 SF + 600 SF OUTDOOR AREA)/75 SF = 56 SPACES TOTAL = 62 SPACES (INCLUDING 3 ADA SPACES)	83 SPACES (INCLUDING 4 ADA SPACES)
8.5.1	PARKING SPACE DIMENSIONS: PARKING ANGLE: 90° MINIMUM WIDTH: 9 FT MINIMUM LENGTH: 18 FT	PARKING ANGLE: 90° WIDTH: 9 FT LENGTH: 18 FT
8.5.1	MINIMUM DRIVE AISLE WIDTH: TWO-WAY: 24 FT	24 FT

- SITE NOTES:**
- DIMENSIONS AND COORDINATE POINTS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
 - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMAN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 - MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SCDOT STANDARDS AND SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - ALL PAVEMENT MARKERS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
 - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCE.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, TRASH ENCLOSURE DETAILS, FENCING DETAILS, SIGNAGE DETAILS, LIGHTNING, DETAILED LANDSCAPE ARCHITECTURE AROUND BUILDING.
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND LOCATION OF SIDEWALKS, STOOPS, STEPS, HANDRAIL, AND ACCESS DOORS WITH ARCHITECTURAL PLANS.
 - COORDINATE SIDEWALK AND SCORING PATTERNS ADJACENT TO THE BUILDING WITH THE ARCHITECTURAL PLANS.
 - CONTRACTOR SHALL PROVIDE NECESSARY TRASH COLLECTION AND DISPOSE TO A LEGALLY APPROVED LANDFILL.
 - STOP BEFORE YOU DIG. CALL NC ONE-CALL CENTER AT 811 OR 1-800-632-4949.
 - PROPOSED DRIVEWAY ENTRANCE TO COLUMBIA AVE SHOW HEREON IS FOR LOTS A,B, AND C, AS OUTLINED WITHIN THE TRAFFIC IMPACT ASSESSMENT SUBMITTED.



IF YOU DIG IN SOUTH CAROLINA...
CALL US FIRST!
PALMETTO UTILITY PROTECTION
(PUPS)
811 or 1-888-721-7877
A MINIMUM OF 72 HOURS BEFORE
DIGGING
IT'S THE LAW

EXPRESS OIL - CHAPIN, SC

XX COLUMBIA AVENUE
 TOWN OF CHAPIN
 LEXINGTON COUNTY, SOUTH CAROLINA
 PARCEL A2 LOT B, TMS NO. 00700-01-017
 0.80 ACRES
 ZONING: COMMERCIAL CORRIDOR (CC)

APPLICANT'S CERTIFICATION

I (WE) HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND I (WE) ARE RESPONSIBLE FOR THE LAND DISTURBANCE AND RELATED MAINTENANCE THEREOF. LEXINGTON COUNTY AUTHORITIES WILL BE ALLOWED TO ENTER THE PROJECT SITE FOR THE PURPOSES OF ON-SITE INSPECTIONS.

 DATE OWNER/PERSON FINANCIALLY RESPONSIBLE

DESIGNER'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN IS DESIGNED TO CONTAIN ON THE PROPERTY CONCERNED TO THE MAXIMUM EXTENT, TO PROVIDE FOR THE PROTECTION OF THE PROPERTY AND THE PROPOSED IMPROVEMENTS THEREON FROM THE EFFECTS OF FLOODING, TO PROVIDE FOR THE CONTROL OF THE RUNOFF FROM THE PROPERTY, AND THAT ALL THE PROVISIONS FOR SEDIMENT CONTROL AND STORM DRAINAGE ARE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL ORDINANCE FOR LEXINGTON COUNTY, SOUTH CAROLINA."

 DATE OWNER/PERSON FINANCIALLY RESPONSIBLE

AL KOON
 MAYOR

LELAND TEAL
 COUNCIL MEMBER

GREGG WHITE
 MAYOR PRO TEM

MIKE CLONTS
 COUNCIL MEMBER

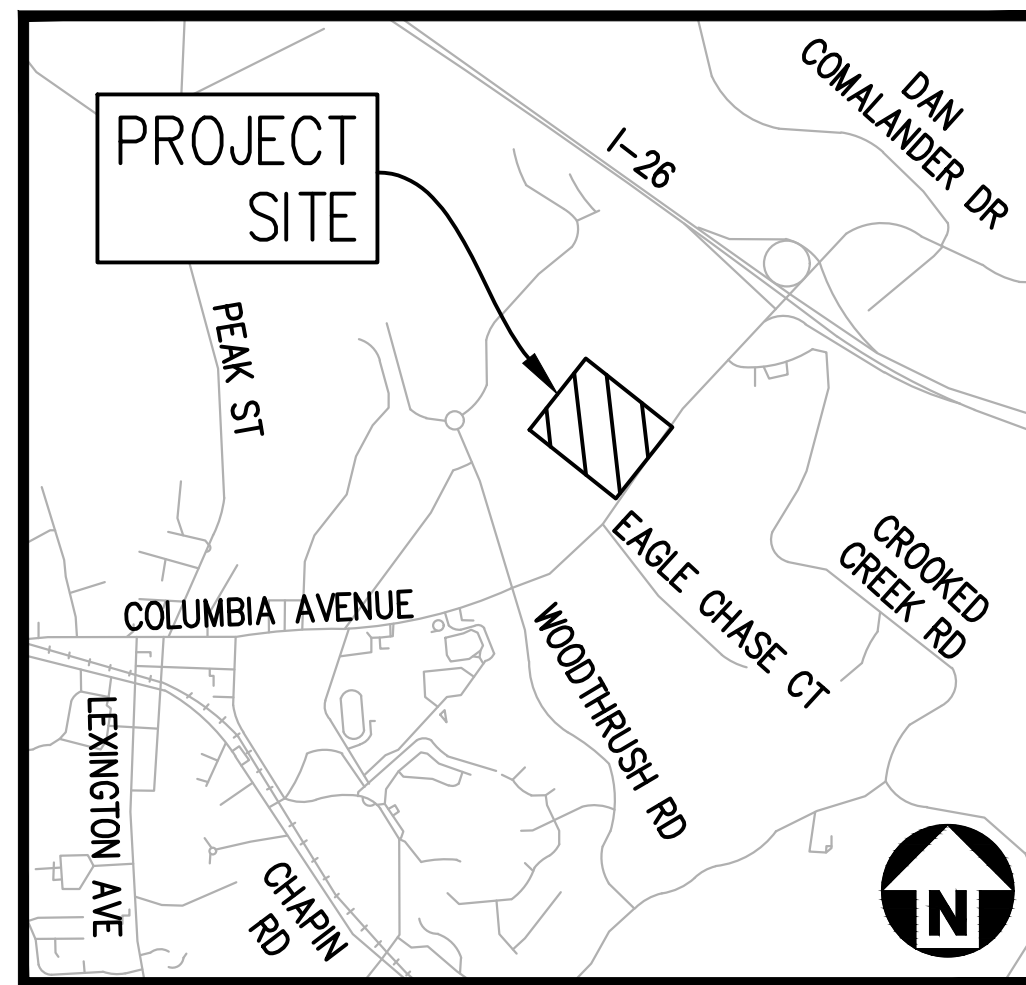
SHANNON BOWERS
 MUNICIPAL CLERK

VICKY SHEALY
 COUNCIL MEMBER

THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING PUBLIC WORKS DEPARTMENT APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER OR THE PUBLIC WORKS ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER AND THE PUBLIC WORKS ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.

NO SUBSURFACE UTILITY SURVEY (SUE) HAS BEEN PERFORMED FOR THE PREPARATION OF THESE PLANS. ADDITIONAL UNDERGROUND UTILITIES MAY BE IN THE AREA. CONTRACTOR SHALL NOTIFY "SC811" (811) OR 1-800-721-7877 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "SC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

CONSTRUCTION PLANS PROJECT NUMBER: EXO25002 DATE: JULY 2025



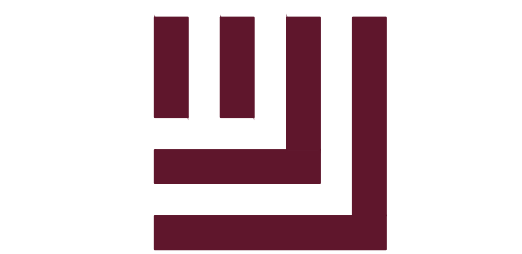
VICINITY MAP
 N.T.S.

Sheet List Table

C0.00	COVER SHEET
V0.00	ALTA SURVEY
C0.01	GENERAL NOTES
C1.00	EXISTING CONDITIONS & DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING PLAN
C3.01	RETAINING WALL PLAN
C3.02	EXISTING DRAINAGE AREA MAP
C3.03	PROPOSED DRAINAGE AREA MAP
C4.00	WATER & SEWER PLAN
C4.01	UTILITY PLAN
C4.02	STORM SEWER PLAN
C4.03	STORM SEWER PROFILES
C5.00	GARBAGE TRUCK TURN EXHIBIT
C6.00	EROSION CONTROL PLAN
C6.01	EROSION CONTROL DETAILS
C6.02	EROSION CONTROL DETAILS
C6.03	EROSION CONTROL DETAILS
C7.00	PAVING, STRIPING & SIGNAGE PLAN
C8.00	STANDARD CONSTRUCTION DETAILS
C8.01	STANDARD CONSTRUCTION DETAILS
C8.02	STANDARD CONSTRUCTION DETAILS
C8.03	STANDARD CONSTRUCTION DETAILS
C8.04	STANDARD CONSTRUCTION DETAILS
L5.00	CODE LANDSCAPE PLAN
L5.01	PLANTING DETAILS

SCDES ENGINEER'S CERTIFICATION STATEMENT:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENT SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.



McADAMS

The John R. McAdams Company, Inc.
 4400 State Highway 121, Suite 800
 Lewisville, Texas 75056

phone 972. 436. 9712
 fax 972. 436. 9715
 TBPE: F-19762 TBPELS: F-10194440
 SC license number: 552, 402
 www.mcadamsco.com

CONTACT

BRITTANY YOUNGBLOOD
 BYOUNGBLOOD@MCADAMSCO.COM
 PHONE: 501.840.0001

CLIENT

JUSTIN DUCK
 1880 SOUTHPARK DRIVE
 BIRMINGHAM, AL 35244
 PHONE: 205.906.2006



PROJECT DIRECTORY

GEOTECHNICAL
 TERRACON
 521 CLEMSON ROAD
 COLUMBIA, SC 29229
 PHONE: 803.741.9000

ENGINEER OF RECORD MCADAMS
 RAY WATSON
 621 HILLSBOROUGH STREET, SUITE 500
 RALEIGH, NC 27603
 PHONE: 919.418.4715



REVISIONS

NO.	DATE	REVISIONS
1	09.22.2025	2ND SUBMITTAL
2		
3		
4		
5		
6		

CONSTRUCTION PLANS FOR:
 EXPRESS OIL - CHAPIN, SC
 TOWN OF CHAPIN, SOUTH CAROLINA
 29036
 PROJECT NUMBER: EXO25002

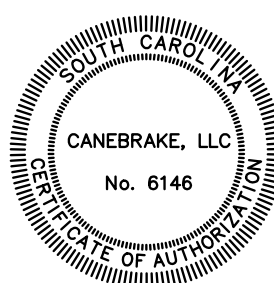


Commercial Real Estate
Due Diligence Management
3465 South Arlington Rd Suite E#183
Akron, OH 44312
866.290.8121
www.amnational.net

ALTA/NSPS Land Title Survey

FOR
EOC CHAPIN SC
COLUMBIA AVE
CHAPIN, SC 29036
COUNTY OF LEXINGTON

TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY; EXPRESS OIL CHANGE, LLC, A LIMITED LIABILITY COMPANY; AND AMERICAN NATIONAL, LLC, THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B1, 7C, 8, 9, 10, 11B, 13, 14, 16, 17, 18, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 4/21/2025.



BY: JOSEPH T. DYCHES, P.L.S.

LAND SURVEYOR NO. 32272
STATE OF SOUTH CAROLINA
DATE OF PLAT: 4/23/2025
DATE OF LAST REVISION: 6/18/2025

NO. 6146
CANE BRAKE, LLC
STATE OF SOUTH CAROLINA
DATE OF PLAT: 4/23/2025
DATE OF LAST REVISION: 6/18/2025

SURVEY PREPARED BY:



202 W MAIN STREET (PO BOX 1330)
CLINTON, SC 29325
PROJ#: 25.006-S

FOR A SURVEY UPDATE OF THIS SURVEY PLEASE CONTACT
SURVEYS@AMNATIONAL.NET
WHEN PROVIDING SURVEY COMMENTS REGARDING THIS SURVEY
PLEASE CONTACT CLIENTCOMMENTS@AMNATIONAL.NET

NETWORK REFERENCE #20250118-1

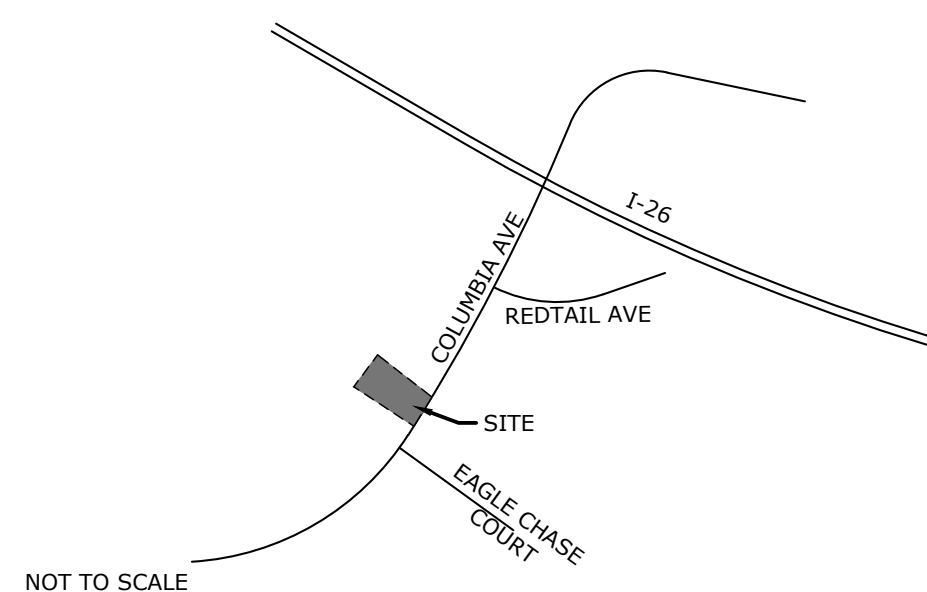
Legal Description

FROM TITLE COMMITMENT:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LEXINGTON COUNTY, SOUTH CAROLINA, BEING SHOWN AS LOT "B", ON 0.87 ACRE ON A PLAT PREPARED FOR CHAPIN PEACH, PREPARED BY BAXTER LAND SURVEYING CO., INC., BEARING THE SEAL AND CERTIFICATION OF ROSSER W. BAXTER, JR., SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. 7613, DATED MARCH 20, 2025, AS MORE PARTICULARLY DEPICTED ON A PLAT RECORDED IN PLAT BOOK 21162, PAGE 4382, IN THE REGISTER OF DEEDS FOR LEXINGTON COUNTY, SOUTH CAROLINA, WHICH PLAT IS INCORPORATED HEREIN BY REFERENCE HERETO.

THIS BEING THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 3-02973(R5) BEARING AN EFFECTIVE DATE OF MAY 9, 2025 AT 8:00 A.M.

LOCATION MAP



NOT TO SCALE

Legend of Symbols & Abbreviations

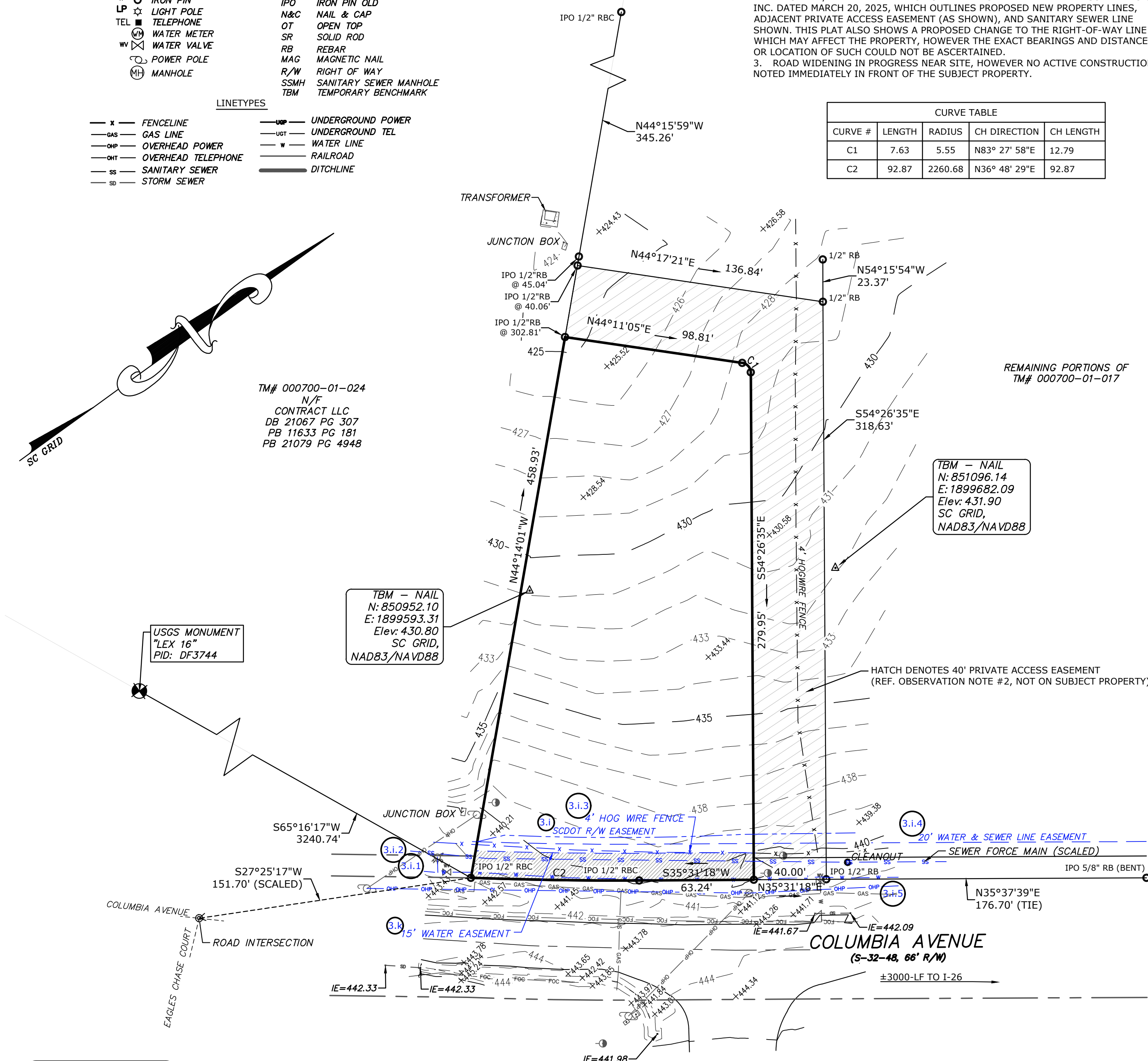
SYMBOLS		ABBREVIATIONS	
	FIRE HYDRANT	CT	CRIMP TOP
	GAS METER	EP	EDGE OF PAVEMENT
	GAS VALVE	FFE	FINISHED FLOOR
	IRON PIN	IPS	IRON PIN SET
	LIGHT POLE	IPO	IRON PIN OLD
	TELEPHONE	N&C	NAIL & CAP
	WATER METER	OT	OPEN TOP
	WATER VALVE	SR	SOLID ROD
	POWER POLE	RB	REBAR
	MANHOLE	MAG	MAGNETIC NAIL
		R/W	RIGHT OF WAY
		SSMH	SANITARY SEWER MANHOLE
		TBM	TEMPORARY BENCHMARK

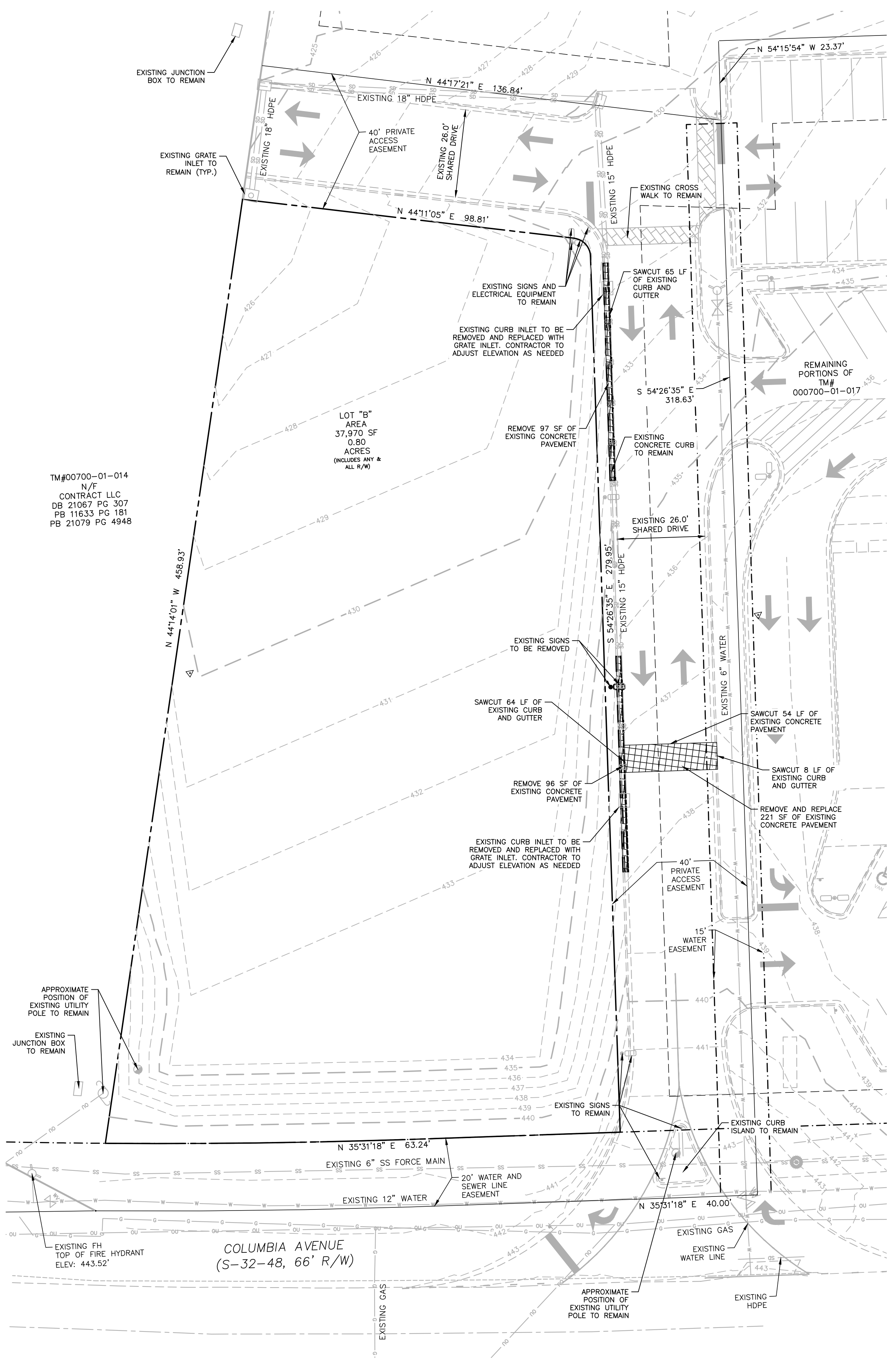
LINETYPES			
	FENCELINE		UNDERGROUND POWER
	GAS LINE		UNDERGROUND TEL
	OVERHEAD POWER		WATER LINE
	OVERHEAD TELEPHONE		RAILROAD
	SANITARY SEWER		DITCHLINE
	STORM SEWER		

Significant Observations

- SANITARY SEWER NOT IDENTIFIED IN PRIVATE UTILITY LOCATE OR MARKED ON THE SITE. SANITARY SEWER CLEANOUT APPURTENANCE IDENTIFIED AND SURVEYED AS SHOWN ON THIS PLAT. FORCE MAIN SHOWN PER SURVEY BY BAXTER LAND SURVEYING CO., INC. FOR CHAPIN PEACH, DATED MARCH 20, 2025.
- SUBJECT PARCEL IS IDENTIFIED AS LOT "B" ON AN UNRECORDED PLAT PROVIDED BY THE CLIENT, "PLAT PREPARED FOR CHAPIN PEACH" BY BAXTER LAND SURVEYING CO., INC. DATED MARCH 20, 2025, WHICH OUTLINES PROPOSED NEW PROPERTY LINES, ADJACENT PRIVATE ACCESS EASEMENT (AS SHOWN), AND SANITARY SEWER LINE SHOWN. THIS PLAT ALSO SHOWS A PROPOSED CHANGE TO THE RIGHT-OF-WAY LINE WHICH MAY AFFECT THE PROPERTY, HOWEVER THE EXACT BEARINGS AND DISTANCES OR LOCATION OF SUCH COULD NOT BE ASCERTAINED.
- ROAD WIDENING IN PROGRESS NEAR SITE, HOWEVER NO ACTIVE CONSTRUCTION NOTED IMMEDIATELY IN FRONT OF THE SUBJECT PROPERTY.

CURVE TABLE				
CURVE #	LENGTH	RADIUS	CH DIRECTION	CH LENGTH
C1	7.63	5.55	N83° 27' 58"E	12.79
C2	92.87	2260.68	N36° 48' 29"E	92.87



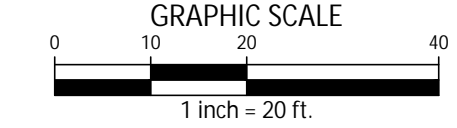
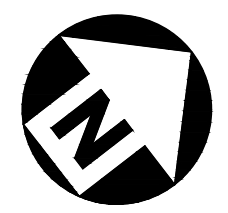


BENCHMARKS:

BM #1: N850952.10 E 1899593.31 ; ELEV: 430.80 SC GRID, NAD83/NAVD88
 BM #2: N851096.14 E 1899682.09 ; ELEV: 431.90 SC GRID, NAD83/NAVD88

EXISTING CONDITIONS AND DEMOLITION PLAN NOTES :

1. THIS IS AN EXISTING CONDITIONS PLAN PREPARED TO MEET ENTITLEMENTS AND PERMITTING REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND USED TO INFORM PRELIMINARY SITE DESIGN. IT IS NOT A TOPOGRAPHIC OR BOUNDARY SURVEY PREPARED AND SEALED BY A LICENSED PROFESSIONAL, UNLESS OTHERWISE INDICATED.
2. EXISTING CONDITIONS WERE COMPILED FROM A SURVEY OF THE SITE PREPARED BY AMERICAN NATIONAL, DATED 04/01/2025. ALTHOUGH EFFORT HAS BEEN MADE TO ACCURATELY LOCATE EXISTING CONDITIONS, ACTUAL FIELD CONDITIONS MAY VARY. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE STARTING LAND DISTURBING ACTIVITY, DEMOLITION, OR CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL CONDITIONS AS THEY EXIST ON SITE.
3. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREIN, THE LOCATION OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. ACTUAL LOCATION, SIZE AND DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY PRIOR TO CONSTRUCTION.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACEMENT OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF THIS PROJECT.
5. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X AS DEFINED BY FEMA F.I.R.M. MAP NUMBER 45063C0040J DATED 07/05/2018.
6. SUE NOT PERFORMED OR VERIFIED BY MCADAMS.
7. SIDEWALK RAMP ARE TO BE DESIGNED AND INSTALLED SO THEY ARE IN COMPLIANCE WITH THE ADA AND SOUTH CAROLINA ACCESSIBILITY STANDARDS.
8. CONSTRUCTION SITE SHALL ADHERE TO THE TOWN OF CHAPIN REQUIREMENTS.
9. CONTRACTOR TO CONFIRM STOCKPILE AND OTHER CONSTRUCTION ITEMS FROM MCALLISTERS HAVE BEEN REMOVED FROM THE EXPRESS OIL SITE PRIOR TO CONSTRUCTION AND NOTIFY DEVELOPER, IN WRITING, IF ANY ITEMS REMAIN THAT WOULD IMPACT CONSTRUCTION.



LINETYPE LEGEND

	PROPERTY LINE
	SETBACK AND BUFFER LINES
	WATER AND SANITARY SEWER EASEMENT
	SAWCUT LINE
	EXISTING CONTOUR
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING EDGE OF PAVEMENT
	SAWCUT AND REMOVAL HATCH

SYMBOL LEGEND

	BENCHMARK LOCATIONS
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING POWER POLE
	EXISTING JUNCTION BOX
	EXISTING SIGN
	EXISTING GRATE INLET
	EXISTING CURB INLET

ABBREVIATION LEGEND

R.O.W. OR R/W = RIGHT OF WAY

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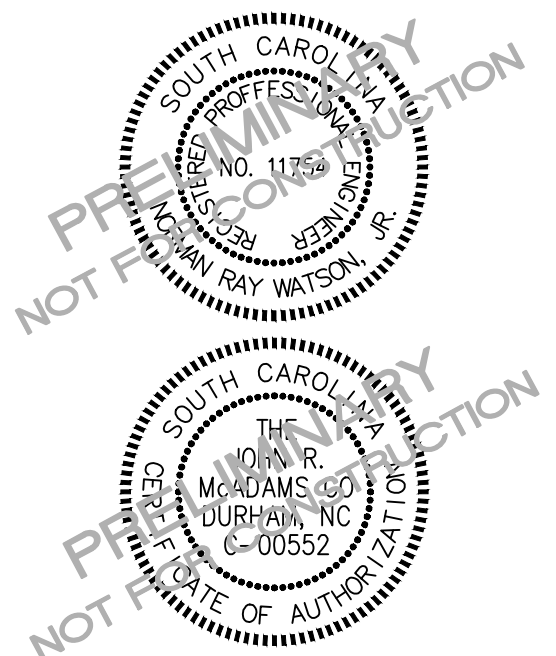
phone 972. 436. 9712
 fax 972. 436. 9715
 TBPE: F-19762 TBPLS: F-10194440
 SC license number: 552, 402
 www.mcadamsco.com

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EXPRESS OIL - CHAPIN, SC
 CONSTRUCTION PLANS
 XX COLUMBIA AVENUE
 CHAPIN, SOUTH CAROLINA 29036



REVISIONS

NO.	DATE	DESCRIPTION
1	09.22.2025	2ND SUBMITTAL
2		

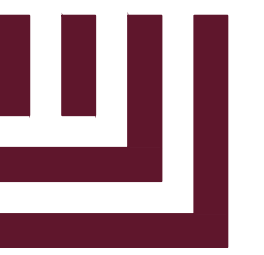
PLAN INFORMATION

PROJECT NO.	EX025002
FILENAME	EX025002-XC1.DWG
CHECKED BY	BY
DRAWN BY	JE
SCALE	1"=20'
DATE	07.15.2025

SHEET
EXISTING CONDITIONS & DEMOLITION PLAN
C1.00



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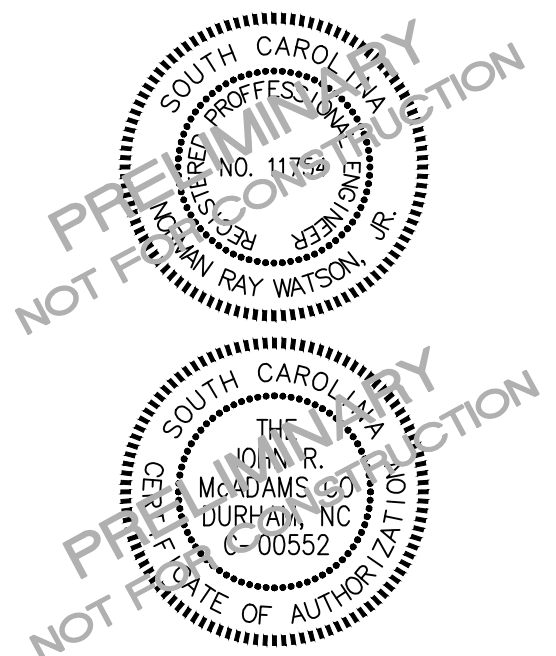
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EXPRESS OIL - CHAPIN, SC
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CHAPIN, SOUTH CAROLINA 29036



REVISIONS

NO.	DATE	DESCRIPTION
1	09.22.2025	2ND SUBMITTAL
2		

PLAN INFORMATION

PROJECT NO. EX025002
FILENAME EX025002-S1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1"=20'
DATE 07.15.2025

SHEET

SITE PLAN

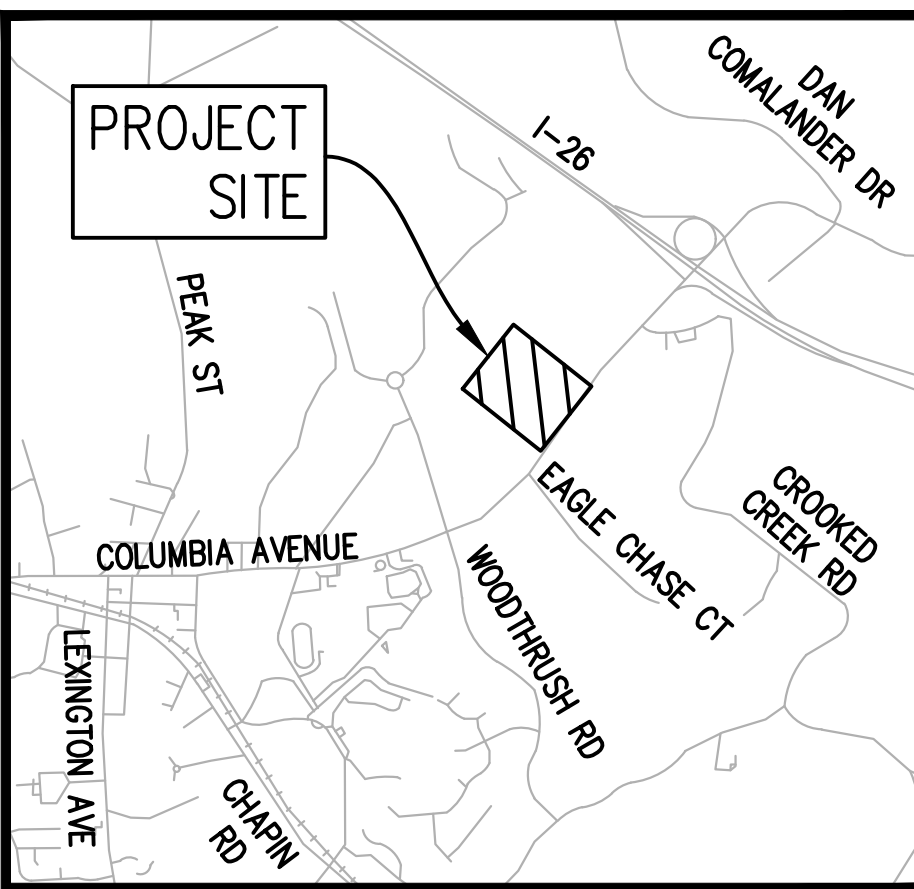
C2.00



GRAPHIC SCALE
0 10 20 40
1 inch = 20 ft.

SITE LEGEND

- TRAFFIC DIRECTIONAL ARROW
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- SIGNAGE
- CURB INLET
- GRATE INLET
- TRENCH DRAIN
- PROPERTY LINE
- EASEMENT LINE
- SETBACK AND BUFFER LINES
- FIRELANE STRIPING



VICINITY MAP
N.T.S.

BENCHMARKS:

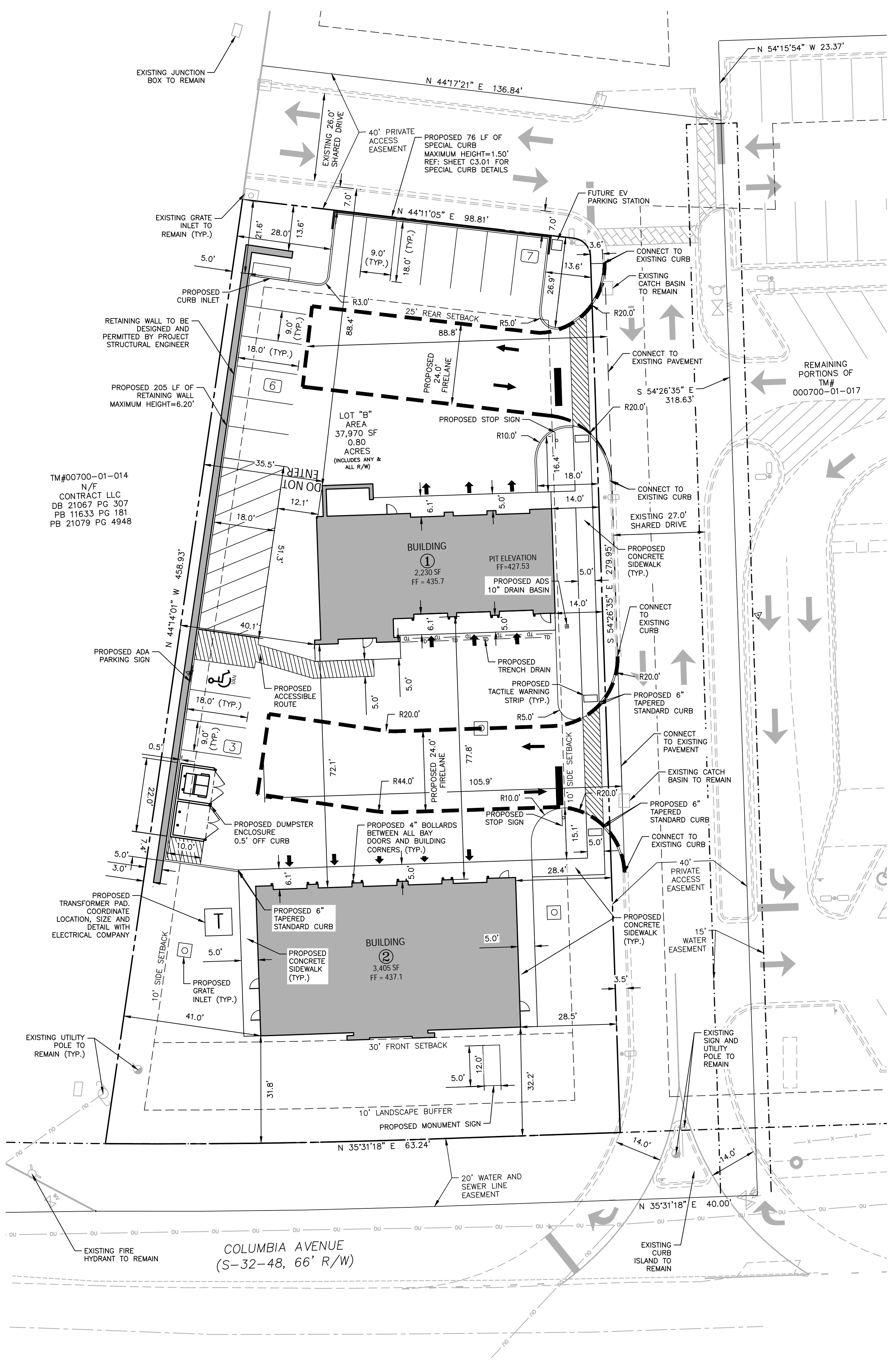
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SITE PLAN NOTES:

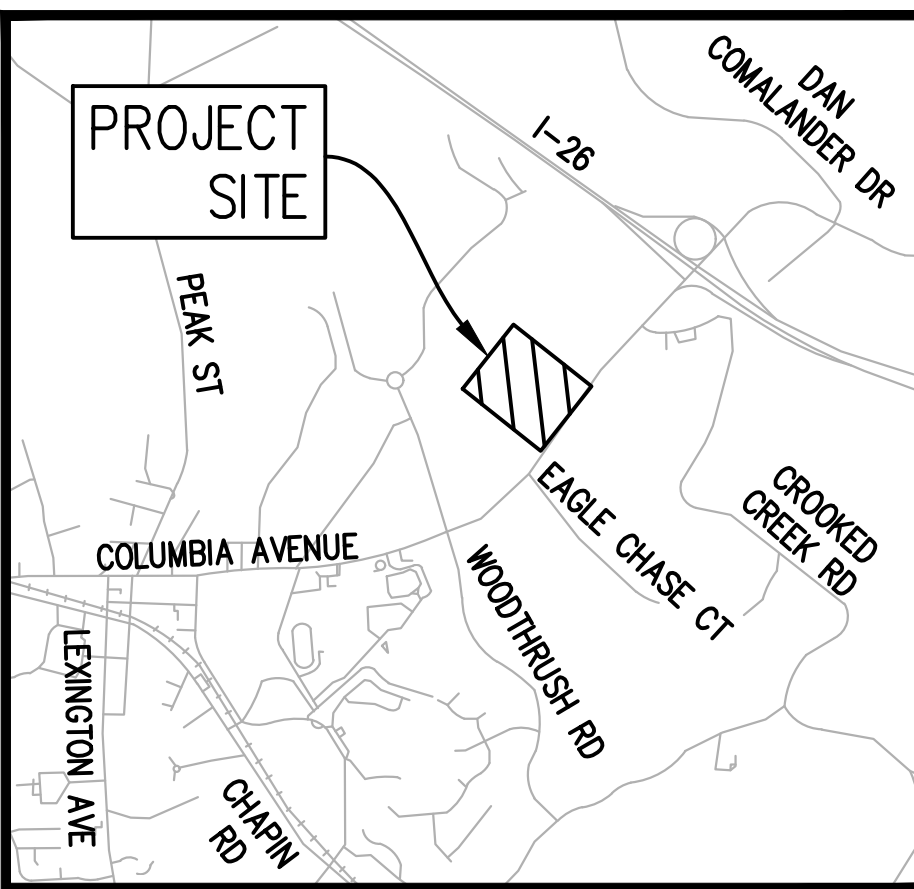
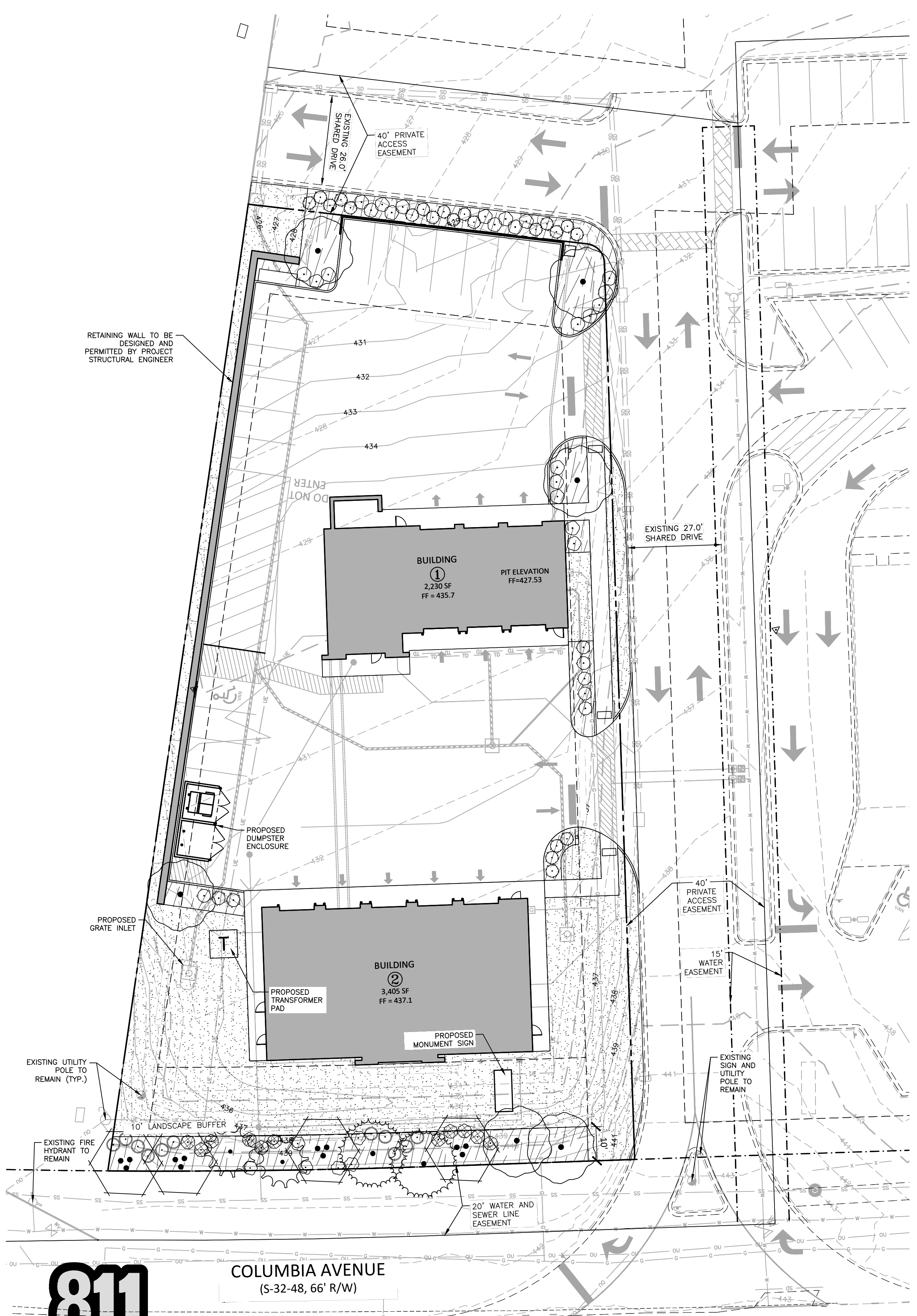
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST LEXINGTON COUNTY AND/OR SCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "SC811" (811) OR 1-888-721-7877 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "SC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE LEXINGTON COUNTY PUBLIC WORKS DEPARTMENT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER IF REQUIRED. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS PLAN SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF LEXINGTON COUNTY AND SOUTH CAROLINA SPECIFICATIONS AND STANDARDS.
- VERIFY ELECTRICAL REQUIREMENTS OF ABOVE GROUND HEATED ENCLOSURES, SITE LIGHTS, SIGNS THAT REQUIRE ELECTRICAL SERVICE WITH ELECTRICAL PLANS AND NOTIFY PROJECT ELECTRICAL ENGINEER OF MISSING INFORMATION.
- SIGNS TO BE PERMITTED SEPARATELY.

SITE DATA TABLE

PHYSICAL ADDRESS	TBD
LEGAL DESCRIPTION	PORTION OF TMS#00700-01-017 PARCEL A2 LOT B
GROSS SITE AREA	0.80 ACRES
NET SITE AREA	0.87 ACRES
ZONING	COMMERCIAL CORRIDOR (CC)
CURRENT USE	NONE - UNDEVELOPED
PROPOSED USED	AUTO REPAIR SERVICE
FRONT SETBACK	30'
REAR SETBACK	25'
SIDE SETBACK	REQUIRED 10' / PROVIDED 15'
LANDSCAPE BUFFER	10' FRONT AND SIDE YARD
LOT COVERAGE DATA	
BUILDING COVERAGE	0.125 AC 15.4%
IMPERVIOUS AREA	0.581 AC 71.5%
PERVIOUS AREA	0.232 AC 28.5%
PARKING SUMMARY	
REQUIRED PARKING - 6 EMPLOYEES (1 SPACE PER 2 EMPLOYEES AT PEAK SHIFT)	3 SPACES
REQUIRED PARKING - 2957 SF (1 SPACE PER 150 SQUARE FEET OF THE AUTOMOBILE REPAIR SPACE)	20 SPACES
REQUIRED ACCESSIBLE SPACES	1 SPACE
TOTAL REQUIRED PARKING	24 SPACES
OFFSITE (ACCOUNTS FOR SHARED PARKING AGREEMENT)	5 SPACES
STANDARD SPACES PROVIDED	15 SPACES
ACCESSIBLE SPACES PROVIDED	1 SPACE
TOTAL PROVIDED PARKING	16 SPACES
BUILDING DATA	
TOTAL BUILDING SQUARE FOOTAGE BUILDING 1 - 2,182 SF BUILDING 2 - 3,262 SF	5,444 SF
NUMBER OF BUILDING STORIES	1 STORY
MAXIMUM BUILDING HEIGHT	<25 FT



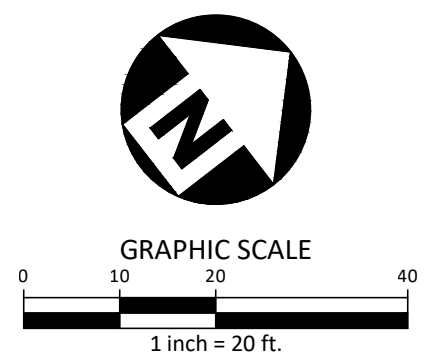
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VICINITY MAP
N.T.S.

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE



CHAPIN REQUIRED PLANTING	
TREE COMPLIANCE CALCULATIONS	
STREET YARD CALCULATIONS	
PERIMETER PLANTING:	
PROPERTY BUFFER TYPE B:	
6 LARGE MATURING TREE FOR EVERY 100 FEET	
18 SHRUBS FOR EVERY 100 FEET	
PROPERTY BUFFERS REQUIRED TREES, 153 LF/100 x 6:	10 TREES
PROPERTY BUFFERS PROVIDED TREES:	10 TREES
PROPERTY BUFFERS REQUIRED SHRUBS, 153 LF/100 x 18:	28 SHRUBS
PROPERTY BUFFERS PROVIDED SHRUBS:	28 SHRUBS
PARKING LANDSCAPE	
TOTAL PARKING SPOTS:	16 SPACES
BUILDING EXTERIOR PERIMETER PLANTING, 245 LF X 0.10:	25 SHRUBS
STREET BUFFERING CALCULATIONS	
TREE PLANTING REQUIREMENTS, CANOPY TREES 1 PER 0.015 LF OF FRONTAGE	03 TREES
174 LF X 0.015:	

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	
CANOPY TREES					
	MGB	2	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' BRACKEN'S BEAUTY SOUTHERN MAGNOLIA	2.5" MIN.	
	PPL	2	PINUS PALUSTRIS LONGLEAF PINE	2.5" MIN.	
	QSO	6	QUERCUS SHUMARDII SHUMARD OAK	2.5" MIN.	
EVERGREEN TREES					
	CDA	4	CEDRUS DEODARA DEODAR CEDAR	2.5" MIN.	
EVERGREEN SHRUB					
	CICA	8	CAMELLIA JAPONICA CAMELLIA	36" MIN	
	IGIH	11	ILEX GLABRA INKBERRY HOLLY	24" MIN	
	IVYH	11	ILEX VOMITORIA YAUPON HOLLY	36" MIN	
	JVGO	21	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR	24" MIN	
	MCWM	23	MYRTICA CERIFERA WAX MYRTLE	24" MIN	
	RIIA	6	RHODODENDRON INDICUM INDICA AZALEA	24" MIN	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
GROUND COVERS					
	CYDA	7,622 SF	CYNODON DACTYLON 'TIFTUF' BERMUDA 'TIFTUF'	SOD	
	MULCH	3,309 SF	DOUBLE SHREDDED HARDWOOD MULCH	MULCH	

NOTE: CONTRACTOR WILL BE RESPONSIBLE FOR IRRIGATION DESIGN AND INSTALLATION.

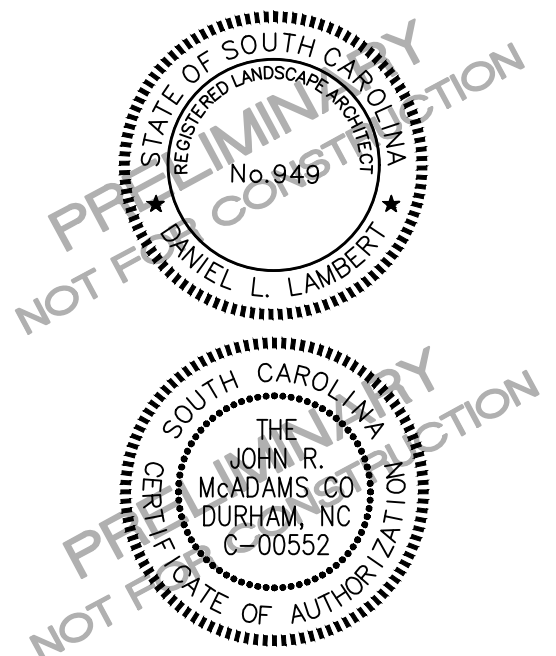
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EXPRESS OIL - CHAPIN, SC
CONSTRUCTION PLANS
XX COLUMBIA AVENUE
CHAPIN, SOUTH CAROLINA 29036



REVISIONS

NO.	DATE	DESCRIPTION
1	09.22.2025	2ND SUBMITTAL
2		

PLAN INFORMATION

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FILENAME EXO25002-LS1.DWG
CHECKED BY DLL
DRAWN BY ASB
SCALE 1"=20'
DATE 07.15.2025

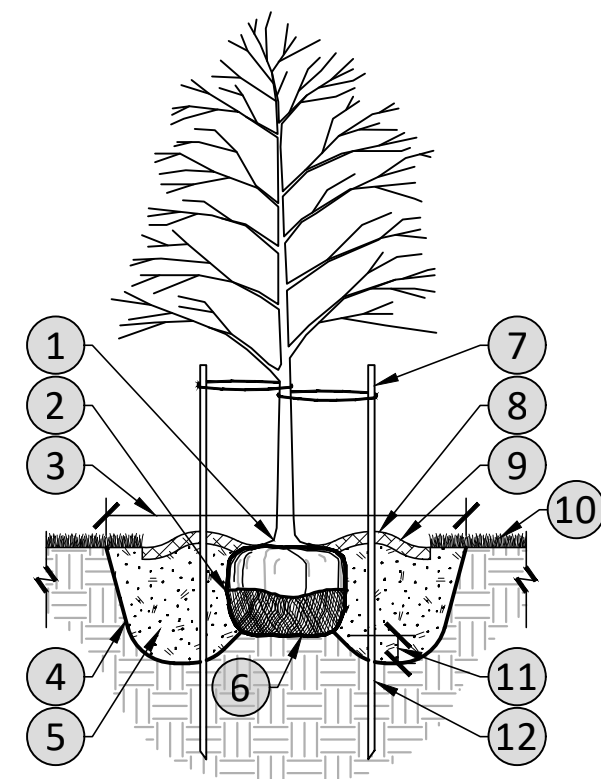
SHEET
CODE LANDSCAPE PLAN

L5.00

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**Know what's below.
Call before you dig.**

CONTRACTOR SHALL NOTIFY "SC811" (811) OR (1-888-721-7877) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "SC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



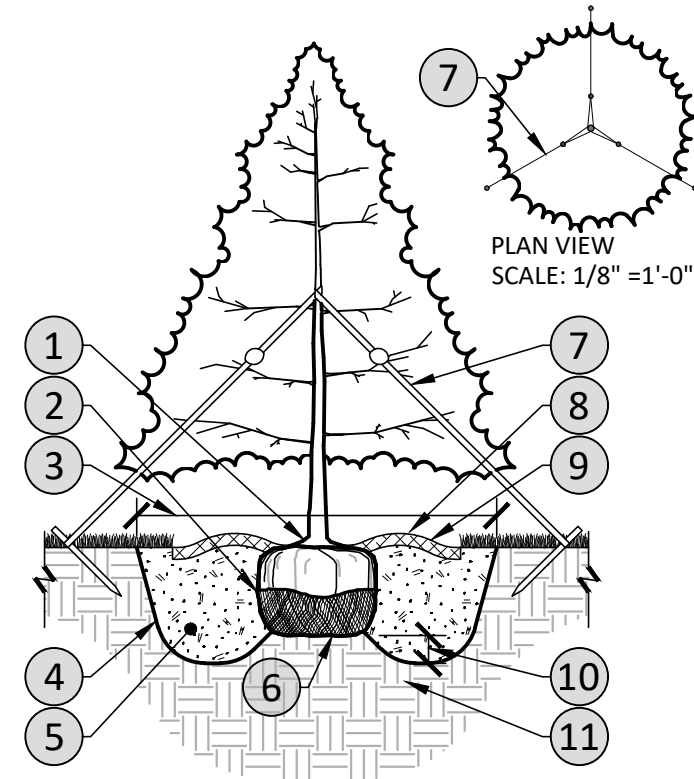
- 1 TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE 2" ABOVE FINISHED GRADE AFTER SETTLING
- 2 CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS. IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- 3 WIDTH OF PLANTING HOLE SHALL BE 3 TIMES THE ROOT BALL DIAMETER IN HIGHLY COMPACTED OR CLAY SOIL; 2 TIMES THE ROOT BALL DIAMETER MINIMUM IN ALL OTHERS
- 4 DIG WIDE PLANTING HOLE WITH TAPERED SIDES.
- 5 TO STABILIZE, COMPACT THE PLANTING SOIL MIX BACKFILL AROUND ROOT BALL; COMPACT SOIL BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPING.
- 6 SET ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLING.
- 7 IF STAKING IS NECESSARY, USE TWO OPPOSING STAKES WITH SEPARATE FLEXIBLE TIES. REMOVE STAKING AT END OF FIRST GROWING SEASON.
- 8 4" RAISED RING OF SOIL TO DIRECT WATER INTO ROOT BALL - ESPECIALLY IMPORTANT IF TOP OF ROOT BALL IS RAISED ABOVE GRADE
- 9 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNK.
- 10 FINAL GRADE
- 11 5"-7" DEEPER THAN ROOT BALL FOR LOWERED PLANTING HOLE AS NEEDED WITH POOR DRAINAGE
- 12 EXTEND STAKES INTO 24" OF UNDISTURBED SOIL.

NOTES:

1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

1 TREE PLANTING

SCALE: 1/4" = 1'-0"



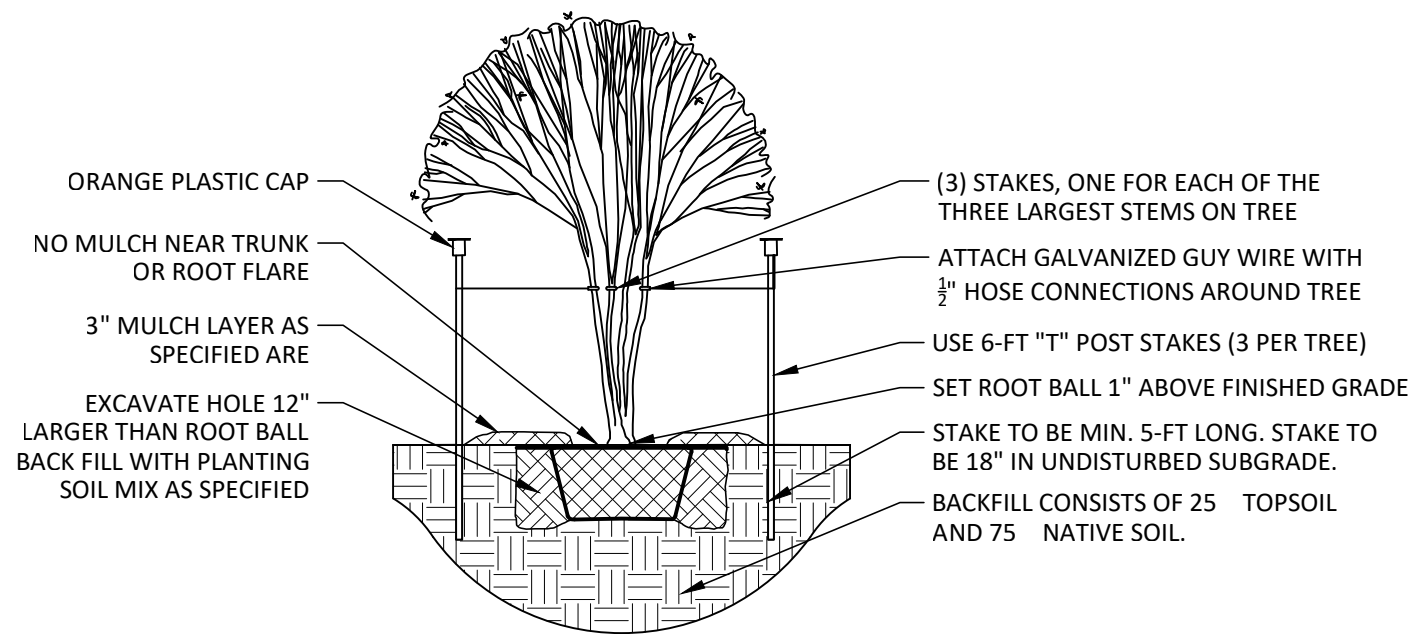
- 1 TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE 2" ABOVE FINISHED GRADE AFTER SETTLING
- 2 CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS. IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- 3 WIDTH OF PLANTING HOLE SHALL BE 3 TIMES THE ROOT BALL DIAMETER IN HIGHLY COMPACTED OR CLAY SOIL; 2 TIMES THE ROOT BALL DIAMETER IN ALL OTHERS (12" MIN. OF PLANTING SOIL ON ALL SIDES)
- 4 DIG WIDE PLANTING HOLE WITH TAPERED SIDES
- 5 TO STABILIZE, COMPACT THE PLANTING SOIL MIX BACKFILL AROUND ROOT BALL; COMPACT SOIL BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPING
- 6 SET ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLING AND LOOSEN SUBGRADE
- 7 STAKE TREES ON THREE SIDES WITH ARBOTRIES AND NAIL/STAPLE STRAPS TO 2"x2"x18" WOOD STAKE OR APPROVED EQUAL. REMOVE STAKING AT END OF SECOND GROWING SEASON.
- 8 4" RAISED RING OF SOIL TO DIRECT WATER INTO ROOT BALL - ESPECIALLY IMPORTANT IF TOP OF ROOT BALL IS RAISED ABOVE GRADE
- 9 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNK
- 10 5"-7" DEEPER THAN ROOT BALL FOR LOWERED PLANTING HOLE AS NEEDED WITH POOR DRAINAGE
- 11 MOUNT STAKES IN UNDISTURBED SOIL AT 45 DEGREE ANGLE. LEAVE TOP 6" OF STAKE ABOVE GROUND

NOTES:

1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; DISEASE AND PEST FREE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. PROVIDE WATER STORING CRYSTALS PER NURSERY RECOMMENDATIONS FOR PINE TREES.
3. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
4. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
5. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

2 EVERGREEN TREE PLANTING

SCALE: 1/4" = 1'-0"



NOTES:

1. SELECT SHRUBS THAT MEET THE SPECIFIED HEIGHT IN THE PLANT SCHEDULE, MEASURED PER THE AMERICAN STANDARD FOR NURSERY STOCK METHODS; PEST AND DISEASE FREE; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC PLANT SPECIES.
4. THOROUGHLY SOAK THE SHRUB ROOT BALLS AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

3 ORNAMENTAL TREE PLANTING

SCALE: 1/4" = 1'-0"

4 SHRUB PLANTING

SCALE: 1/2" = 1'-0"

LANDSCAPE NOTES

1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE TOWN OF CHAPIN AND THE STATE OF SOUTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES, NEW AND PRIOR EXISTING, BEFORE BEGINNING LANDSCAPE INSTALLATION. DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. THE LANDSCAPE PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE, GRADING DRAWINGS, ETC.
5. CONTRACTOR SHALL FULLY REVIEW PLANS PRIOR TO INSTALLATION AND SHALL NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT OF DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS, OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
6. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND LANDSCAPE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID/PROPOSAL.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED AND RESERVING / SECURING PLANT MATERIAL AS NECESSARY TO MEET THE REQUIREMENTS OF THE LANDSCAPE PLAN.
8. PLANTS TO MEET MINIMUM REQUIREMENTS AS SPECIFIED IN THE PLANT SCHEDULE. ROOT TYPE MAY BE FREELY SUBSTITUTED FOR BALLED AND BURLAPPED OR CONTAINER GROWN TREES, WITH OTHER SPECIFICATIONS REMAINING UNCHANGED. OTHER CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO PROCUREMENT OF PLANT MATERIAL.
9. DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS OR REVISIONS WITHOUT APPROVAL.
10. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
11. CONTRACTOR SHALL VERIFY CONDITIONS AND ELEVATIONS OF EXISTING TREES TO REMAIN ADJACENT TO OR WITHIN LIMITS OF DISTURBANCE PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TESTING, AMENDING AND SPREADING OF TOPSOIL PRIOR TO PLANT INSTALLATION, SUPPLEMENTING WITH AMENDMENTS TO ADJUST PH AND FERTILITY AS NECESSARY BASED ON THE TEST RESULTS.
13. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
14. CONTRACTOR SHALL PREPARE PLANTING BEDS BY TILLING SOIL TO A 12" DEPTH PRIOR TO INSTALLING PLANT MATERIAL. CONTRACTOR SHALL ENSURE THAT SHALLOW BEDROCK WILL NOT INHIBIT THE ROOT GROWTH OF PLANT MATERIAL. PLANTING BEDS SHALL NOT BE BACKFILLED WITH ANY MATERIAL OTHER THAN AMENDED OR IMPORTED PLANTING SOIL.
15. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
16. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
17. FINE GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. HAND ROLL AND RAKE, REMOVE RIDGES AND DEBRIS, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
18. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN PLANTING AREAS.
19. AFTER TREE PLANTING HOLES HAVE BEEN DUG AND PRIOR TO INSTALLATION OF TREES, CONTRACTOR TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. USE LOWERED PLANTING HOLE DEPTH AND INSTALL ALTERNATIVE DRAINAGE AND AERATION SYSTEMS AS REQUIRED.
20. PERFORM PERCOLATION TEST FOR EACH TREE PIT. PROVIDE GRAVEL SUMP FILTER FABRIC VENT PIPE IF DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS. INCLUDE ALL SUMPS IN BASE BID. SHOULD SUMPS NOT BE NECESSARY AFTER PERCOLATION TEST, PROVIDE CHANGE ORDER DEDUCT TO OWNER.
21. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES OF THE HOLE WITH A SHOVEL TO ELIMINATE GLAZING AND TO CREATE THE SPECIFIED SIDE SLOPE ON THE INSIDE OF THE PLANTING HOLE.
22. CONTRACTOR SHALL KEEP AREAS OF WORK CLEAN, NEAT, AND ORDERLY. PAVED SURFACES ARE TO BE CLEANED OF SOIL AND DEBRIS AT THE CLOSE OF EACH WORKDAY.
23. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS, AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN HORT (F.K.A. AMERICAN NURSERY LANDSCAPE ASSOCIATION).
24. PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT.
25. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD THE SOIL TOGETHER FIRMLY, BUT NOT SO LONG AS TO HAVE BECOME POT BOUND. CONTAINER GROWN STOCK SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
26. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT

BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY.

27. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.

28. PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES, AND/OR FOLIAGE OF THE PLANT. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING. MISHANDLED PLANT MATERIAL SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT. PLANTS WITH BROKEN ROOT BALLS OR SUBSTANTIAL DAMAGE SHALL BE REPLACED PRIOR TO PLANTING.

29. CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION. CONFLICTS OR DISCREPANCIES SHALL BE FIELD ADJUSTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NOTIFY THE GOVERNING JURISDICTION AND OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT OF SIGNS, POWER LINES, OR OTHER CONFLICTS BEFORE PLANTING TREES.

30. NO TREE PLANTING SHALL OCCUR WITHIN SIGHT DISTANCE TRIANGLE AREAS INDICATED ON THE PLAN SET. CONTRACTOR SHALL STAKE THE LOCATION OF TREE PLANTING IN THE RIGHT-OF-WAY IN THE FIELD PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND AUTHORITIES HAVING JURISDICTION. OWNER SHALL AGREE TO MAINTAIN THE STRUCTURE OF TREE PLANTING IN THE RIGHT-OF-WAY TO ELIMINATE SIGHT DISTANCE CONFLICTS.

31. PROPOSED TREES TO BE PLANTED A MINIMUM 20 FEET FROM LIGHT POLES AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.

32. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM FIRE HYDRANTS AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.

33. CONTRACTOR SHALL LAY OUT ON THE GROUND SHRUBS, ORNAMENTAL GRASSES, AND GROUNDCOVERS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL ANTICIPATE THAT SOME REARRANGEMENT OF MATERIAL WILL OCCUR.

34. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.

35. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL NOT COVER THE ROOT FLARE.

36. MULCH SHALL BE ORGANIC, FREE OF TRASH, AND MAINTAINED WEED FREE. MULCH SHALL BE APPLIED IMMEDIATELY AFTER COMPLETION OF PLANTING OPERATIONS.

37. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. CONTRACTOR WILL REPLACE PLANT MATERIAL WHICH REMAINS UNHEALTHY BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.

38. CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTED AREAS THROUGHOUT THE WARRANTY PERIOD TO ENSURE PLANT ESTABLISHMENT.

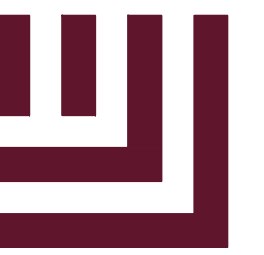
39. REPAIR OR REPLACE, IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE, NEW TREES AND OTHER PLANTS THAT ARE DAMAGED AFTER INSTALLATION BY CONSTRUCTION OPERATIONS.

40. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND INFORM THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. CONTRACTOR SHALL REMOVE DEAD AND UNHEALTHY PLANT MATERIAL AND IMMEDIATELY REPLACE AT THE CONTRACTOR'S EXPENSE.

41. CONTRACTOR SHALL REMOVE GUYS AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.

42. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.

43. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.



McAdams

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CONTACT

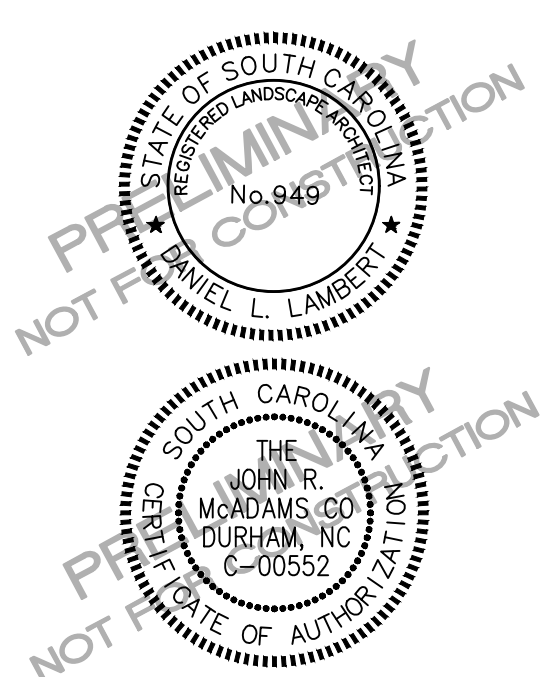
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CLIENT

JUSTIN DUCK
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
PHONE: 205.906.2006



EXPRESS OIL - CHAPIN, SC
CONSTRUCTION PLANS
XX COLUMBIA AVENUE
CHAPIN, SOUTH CAROLINA 29036



REVISIONS

NO.	DATE	DESCRIPTION
1	09.22.2025	2ND SUBMITTAL
2		

PLAN INFORMATION

PROJECT NO. EXO25002
FILENAME EXO25002-LS1.DWG
CHECKED BY DLL
DRAWN BY ASB
SCALE AS SHOWN
DATE 07.15.2025

SHEET

PLANTING DETAILS

L5.01

August 18, 2025

City of Chapin, SC

RE: Trip Generation Assessment for Express Oil Change & Tire Engineers – Trip Generation Assessment

TRAFFIC ASSESSMENT

The purpose of this section is to document a trip generation evaluation specifically for the proposed automobile service/oil change facility included in the broader mixed-use development on Parcel 000700-01-017 in Chapin, SC. This specific use was part of the land use assumptions considered in previous traffic studies prepared for the parcel and surrounding area. A traffic impact study dated October 18, 2021, and its addendum dated August 22, 2022, assessed a mixed-use development with similar or greater land use intensities across the site. Those studies concluded that no off-site traffic improvements were warranted based on trip generation and roadway capacity. A subsequent traffic study dated 2024 evaluated a refined development program and projected lower trip generation than the 2022 study. This memorandum updates the analysis to reflect a revised square footage for the automobile service/oil change component, which has increased from 4,000 SF (used in the 2024 study) to 5,444 SF, and evaluates whether this change alters prior conclusions.

TRIP GENERATION

The current proposal includes 5,444 SF of automobile service/oil change space, which is 1,444 SF greater than the 4,000 SF previously evaluated in the 2024 traffic study. This increase corresponds to an estimated increase of approximately 100 daily trips, based on ITE Trip Generation Manual, 11th Edition, Land Use Code 943 (Automobile Care Center). Attachment B and C show the 2022 and 2024 Trip Generation calculations.

Table 1 summarizes the estimated trips generated by the 5,444 SF automobile service/oil change use proposed as part of this memorandum.

Table 1. Trip Generation										
ITEM #	Use	Quantity (Units)	Units	Weekday	AM Peak Hour			PM Peak Hour		
					Total	In	Out	Total	In	Out
941	Quick Lubrication Vehicle Shop	5.44	1000 SF GFA	378	32	24	8	47	20	27

Table 2 presents a comparison of the total estimated site trips under three scenarios: the original 2022 traffic study, the updated 2024 study, and the current development program as documented in this memorandum. This provides a clear view of how the revised site plan, despite a slight increase in automobile service use, still generates fewer total trips than the 2022 scenario that required no off-site improvements.

Scenario	Weekday	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
2022 Concept Plan	2479	293	158	135	206	107	99
2024 Concept Plan	1883	130	74	56	173	91	82
2025 Memo	1983	139	81	58	185	96	89
Difference 2025 vs 2022	496	154	77	77	21	11	10
% Difference 2025 vs 2022	-20%	-53%	-49%	-57%	-10%	-10%	-10%

SUMMARY / RECOMMENDATIONS

This memorandum documents the trip generation assessment for the proposed mixed-use development on Parcel 000700-01-017 in Chapin, SC, with specific focus on the increase in automobile service/oil change space from 4,000 SF (2024 study) to 5,444 SF. This increase is estimated to generate approximately 100 additional daily trips based on ITE trip generation data.

Despite this increase, the total site-generated trips remain below those evaluated in the 2022 traffic study, which assessed a higher-intensity development program and determined that no off-site improvements were necessary. The subsequent 2024 study projected fewer trips than the 2022 analysis, and the current proposal, with a modest increase in automobile service square footage, continues to fall within previously acceptable thresholds.

As shown in Table 1, the automobile service/oil change use is expected to generate a limited number of daily and peak-hour trips. Table 2 confirms that the overall site trip generation under the current proposal remains lower than the 2022 study findings, reinforcing that no off-site roadway improvements are warranted.

Accordingly, the current development scenario is consistent with prior traffic planning assumptions, and no additional mitigation measures are recommended based on the updated trip generation.

If you should have any questions or comments related to this memo, please feel free to email me at watson@mcadams.com

ATTACHMENTS

Attachment A – Site Plan

Attachment B – 2022 Trip Generation Calculations

Attachment C – 2024 Trip Generation Calculations

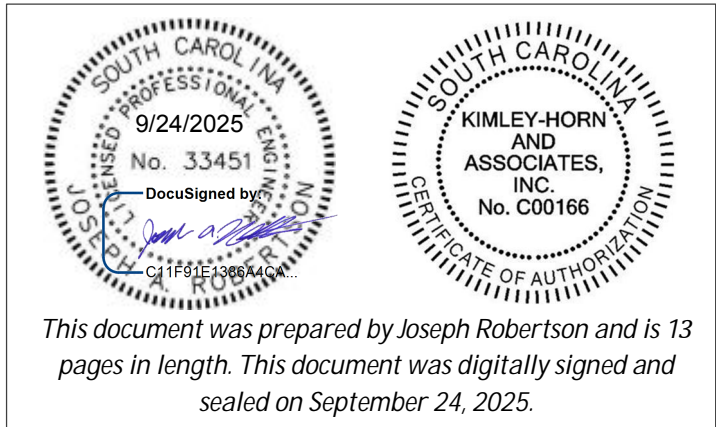
Sincerely,

MCADAMS

Ray Watson, PE

Technical Manager

ATTACHMENT A – AUTOMOTIVE SERVICE/OIL CHANGE SITE PLAN



This document was prepared by Joseph Robertson and is 13 pages in length. This document was digitally signed and sealed on September 24, 2025.

TECHNICAL MEMORANDUM

To: Lori Campbell, P.E. – SCDOT District 1
 From: Joe Robertson, P.E., PTOE, RSP₂₁ – Kimley-Horn
 Date: September 24, 2025

Subject: Columbia Avenue Mixed-Use, Chapin, SC – Trip Generation Assessment

The purpose of this technical memorandum is to document a trip generation assessment for a proposed mixed-use development project located in Chapin, SC. The proposed development consists of up to 1,400 square feet (SF) of fast-food restaurant space, 1,600 SF of general retail space, 3,200 SF of fast casual restaurant space, 5,400 SF of automobile service/oil change space, and 4,100 SF of sit-down restaurant space located on the north/west side of Columbia Avenue on Parcel 000700-01-017 in Chapin, SC. The current conceptual plan for the development is included as Attachment A. The project site is currently undeveloped and is proposed to be accessed via a right-in/right-out (RIRO) driveway on Columbia Avenue (S-48) and a cross connection through the adjacent parcel to the west (Caliber Collision) that has a driveway aligned with Eagle Chase Court. **Figure 1** illustrates the location of the project site.

A previously prepared traffic study dated October 18, 2021, and subsequent traffic study addendums dated August 22, 2022, and September 18, 2024, considered the impacts of a mixed-use development for the subject parcel and surrounding parcels and provided recommendations for improvements. The proposed land uses and intensities of the overall planned development on Parcel 000700-01-017 have changed since the previous traffic studies, and this memorandum documents an expected adjustment in trip generation potential based on these changes.

Existing Conditions

Columbia Avenue (S-48) is a paved two-lane, undivided principal arterial with a posted speed limit of 35 mph in the vicinity of the site. Columbia Avenue (S-48) has a 2024 AADT of 13,200 vehicles per day at SCDOT Lexington County count station 477 which is located approximately 0.5 miles west of the project site near the Columbia Avenue at Peak Street intersection.



Figure 1– Project Location Map

Project Traffic Volumes

Trip generation estimates based on the *ITE Trip Generation Manual, 11th Edition* were calculated for the project based on the proposed land uses in the 2025 concept plan and compared to the uses from the previously analyzed 2022 and 2024 concept plans. It should be noted that these estimates are for the TM #00700-010-017 portion of the site only. As shown in **Table 1**, the proposed development is projected to generate fewer daily, AM, and PM peak hour trips than the previously analyzed 2022 uses on the subject parcel. Trip generation calculations are provided for the 2025, 2024, and 2022 concept plans in Attachment B, Attachment C, and Attachment D, respectively.

The estimated trip generation is included in **Table 1**.

Table 1 – Chapin Mixed-Use Trip Generation Comparison

Chapin Mixed-Use Trip Generation Comparison							
Scenario	Daily	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
2022 Concept Plan	2,479	293	158	135	206	107	99
2024 Concept Plan	1,883	130	74	56	173	91	82
2025 Concept Plan	2,076	147	85	62	193	101	92
2022 - 2025 Difference	-403	-146	-73	-73	-13	-6	-7
2022 - 2025 % Difference	-16.3%	-49.8%	-46.2%	-54.1%	-6.3%	-5.6%	-7.1%

Based on an even project trip distribution of 50% to/from the North/East and 50% to/from the South/West—and considering the low volume of turning movements estimated to/from the adjacent Caliber Collision (estimated 33 AM trips (22 in/11 out)/47 PM trips (23 in/24 out)—it is anticipated that the highest volume of left-turns into the driveway aligned with Eagle Chase Court during the peak hours would be 54 vehicles in the AM peak hour, and 62 vehicles in the PM peak hour.

Based on a reduction in the trip generation potential for the proposed development as compared to the previously analyzed 2022 uses, it is anticipated that the previous study’s findings and recommendations are still valid.

SCDOT Widening Project

SCDOT is in the process of a design project to widen S-48 (Columbia Avenue) across the frontage of the proposed site. Under final built conditions, a median opening will exist at the Columbia Avenue intersection with Eagle Chase Court and a left-turn lane serving the proposed Caliber Collision driveway will be incorporated into that project, which will also provide access to the subject parcel through a cross-access connection.

Further coordination with SCDOT District 1 should be had to discuss the widening project’s timeline in relation to the construction timeline of the subject development. Previous discussion with SCDOT District 1 in 2024 indicated that no interim improvements will be required for the subject development provided that the site access is restricted to a right-in/right-out and all left-turn traffic is directed to use the shared proposed full access driveway aligned with Eagle Chase Court.

Summary

Further coordination with SCDOT District 1 should be had to discuss the widening project’s timeline in relation to the construction timeline of the subject development. Based on the anticipated reduction in trip generation potential from the previously prepared analyses, generally low anticipated peak hour turning movements, and the forthcoming SCDOT widening of Columbia Avenue, no improvements are recommended to accommodate the proposed project for the interim period prior to the widening of Columbia Avenue. However, if any additional parcels or land uses/intensities are proposed that would significantly increase the expected traffic, SCDOT will require an updated analysis to assess if any improvements are required for the interim period prior to the widening of Columbia Avenue.



Attachments

- Attachment A – 2025 Conceptual Site Plan
- Attachment B – 2025 Trip Generation Calculations
- Attachment C – 2024 Trip Generation Calculations
- Attachment D – 2022 Trip Generation Calculations



Attachment A – 2025 Conceptual Site Plan

SEAL:
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

CO. SEAL:
NOT FOR CONSTRUCTION

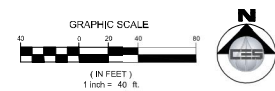
OWNER/DEVELOPER:
CW MARINA, LLC DBA CAROLINA WINGS
1000 MARINA ROAD, SUITE 100, BEAUFORT, SC 29905
PHONE: 803.206.0320 EMAIL: ROB@CAROLINAWINGS.COM
PROJECT DESCRIPTION:
CAROLINA WINGS RESTAURANT
COLUMBIA AVENUE, TOWN OF CHAPIN, LEXINGTON COUNTY, SC

PROJECT NO:
8397.0624CD
ISSUE DATE: 09/10/2025
DRAWING REVISIONS:

NO.	REVISION DESC.	DATE
1	PER IFC AND ADA COMMENTS	09/10/2025
2		
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DRAWN BY: WAS REVISION BY: -
CHECKED BY: RTC ISSUED BY: -
DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
C2.0



LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	PROPOSED CURB AND GUTTER
---	PROPOSED SETBACK LINE
---	PROPOSED BUFFER LINE
---	EXISTING SCDDOT SETBACK
---	PROPOSED CONCRETE
---	PROPOSED OPEN SPACE
---	EXISTING ACCESS EASEMENT
---	PROPOSED LIGHT DUTY PAVEMENT AREA
---	PROPOSED HEAVY DUTY PAVEMENT AREA
---	PROPOSED 10' SANITARY SEWER EASEMENT
---	PROPOSED 10' ELECTRIC SERVICE EASEMENT
---	PROPOSED 10' GAS SERVICE EASEMENT

SITE DATA TABLE

PARCEL #: 000700-01-017

COLUMBIA AVENUE

ZONING: CC (CORRIDOR COMMERCIAL) (TOWN OF CHAPIN)

LOT C - PROPOSED USE
RESTAURANT
(SEE NOTE A BELOW)

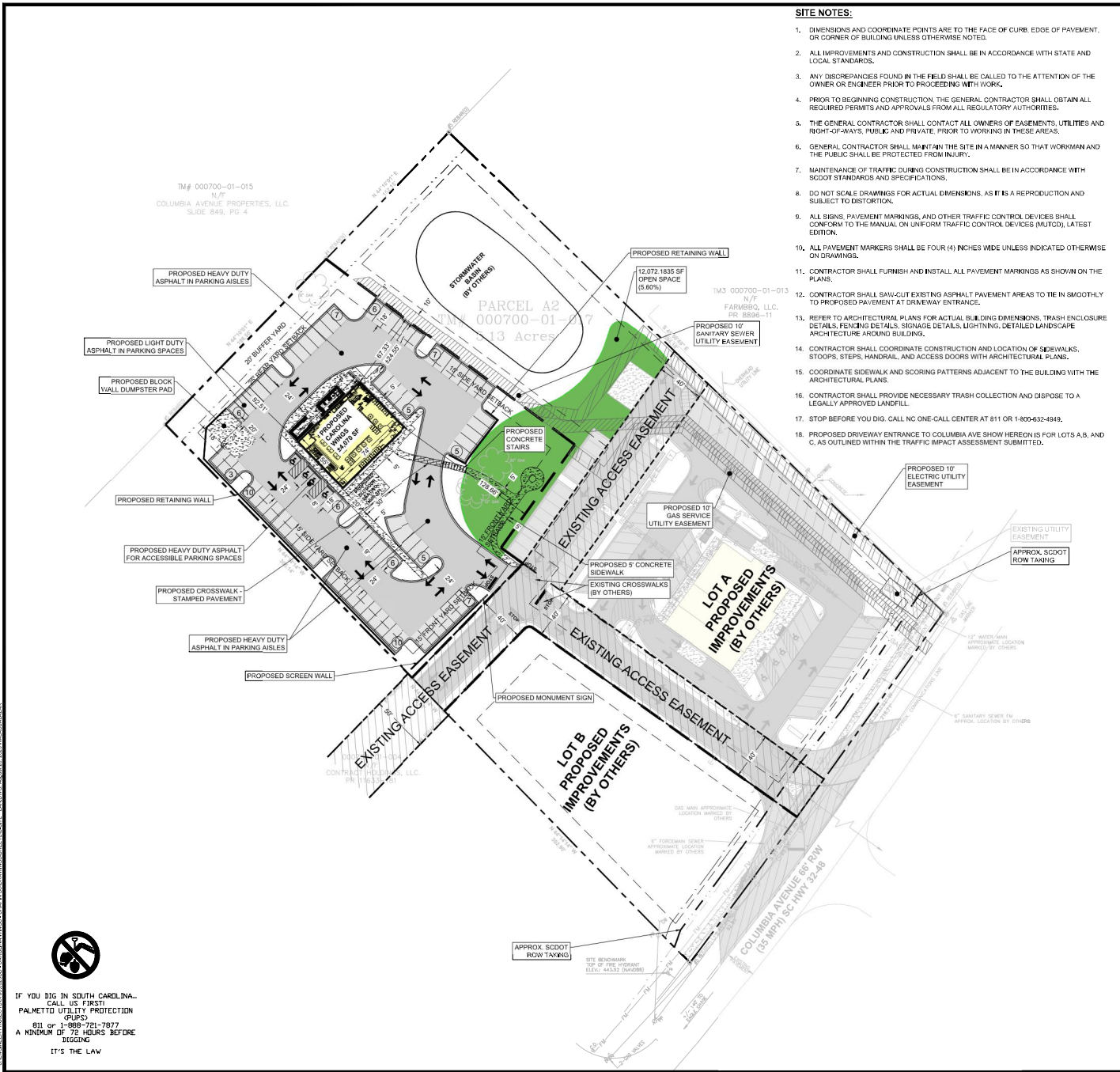
ZONING REQUIREMENT	REQUIRED	EXISTING (ORIGINAL PARCEL)	PROPOSED (LOT C)
MINIMUM LOT WIDTH	50 FT	372.89 FT	198.56 FT
MINIMUM LOT SIZE	NONE	4.95 AC	1.49 AC
MAXIMUM LOT COVERAGE	70%	0%	ENTIRE SITE (LOTS A, B AND C = 64.52%) (LOT C ONLY = ±63.35%)
MINIMUM FRONT YARD SETBACK	15 FT	N/A	128.66 FT
MAXIMUM FRONT YARD SETBACK	NONE	N/A	N/A
MINIMUM SIDE YARD SETBACK	15 FT	N/A	67.33 FT
MINIMUM REAR YARD SETBACK	25 FT	N/A	92.51 FT
BUILDING HEIGHT	65 FT	N/A	< 65 FT
S-48 COLUMBIA AVENUE SETBACK	30 FT	N/A	N/A
MINIMUM OPEN SPACE	5.00%	N/A	ENTIRE SITE (LOTS A, B, AND C = ±5.60%) (LOT C ONLY = ±10.43%)

NOTE A:
PROPOSED LOT A, B, AND C ARE TO BE DEVELOPED SEPARATELY IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, ANTICIPATED SCHEDULE IS UNKNOWN AT THIS TIME, OPEN SPACE, MAXIMUM LOT COVERAGE, STORMWATER MANAGEMENT, WATER AND SEWER UTILITIES, SCDDOT ACCESS, AND TREE MITIGATION/LANDSCAPE REQUIREMENTS OF ENTIRE SITE (AS FULLY DEVELOPED) WAS REVIEWED AND APPROVED BY THE TOWN OF CHAPIN UNDER THE DEVELOPMENT APPLICATION OF LOT A FOR A McALISTER'S DELI.

OFF STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
8.4.1	REQUIRED PARKING: - ENTER PARKING REQUIREMENT WITH CALCULATION OF REQUIRED SPACES TOTAL REQUIRED SPACES: 1 SPACE / 2 SEATS OR 1 SPACE / 75 SF OF DINING AREA, INCLUDING OUTDOOR AREAS, WHICHEVER IS GREATER 124 SEATS/2 SEATS = 62 SPACES OR (3,600 SF + 600 SF OUTDOOR AREA) / 75 SF = 56 SPACES TOTAL = 62 SPACES (INCLUDING 3 ADA SPACES)	63 SPACES (INCLUDING 4 ADA SPACES)
8.5.1	PARKING SPACE DIMENSIONS: PARKING ANGLE: 90° MINIMUM WIDTH: 9 FT MINIMUM LENGTH: 18 FT	PARKING ANGLE: 90° WIDTH: 9 FT LENGTH: 18 FT
8.5.1	MINIMUM DRIVEABLE WIDTH: TWO-WAY: 24 FT	24 FT

- SITE NOTES:**
- DIMENSIONS AND COORDINATE POINTS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
 - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMAN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 - MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SCDDOT STANDARDS AND SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - ALL PAVEMENT MARKERS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
 - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCE.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, TRASH ENCLOSURE DETAILS, FENCING DETAILS, SIGNAGE DETAILS, LIGHTNING, DETAILED LANDSCAPE ARCHITECTURE AROUND BUILDING.
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND LOCATION OF SIDEWALKS, STOOPS, STEPS, HANDRAIL, AND ACCESS DOORS WITH ARCHITECTURAL PLANS.
 - COORDINATE SIDEWALK AND SCORING PATTERNS ADJACENT TO THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
 - CONTRACTOR SHALL PROVIDE NECESSARY TRASH COLLECTION AND DISPOSE TO A LEGALLY APPROVED LANDFILL.
 - STOP BEFORE YOU DIG. CALL NC ONE-CALL CENTER AT 811 OR 1-800-432-4949.
 - PROPOSED DRIVEWAY ENTRANCE TO COLUMBIA AVE SHOW HEREON IS FOR LOTS A, B, AND C, AS OUTLINED WITHIN THE TRAFFIC IMPACT ASSESSMENT SUBMITTED.



IF YOU DIG IN SOUTH CAROLINA...
CALL US FIRST!
PALMETTO UTILITY PROTECTION
(PUP)
811 or 1-888-721-7877
A MINIMUM OF 72 HOURS BEFORE
DIGGING
IT'S THE LAW



Attachment B – 2025 Trip Generation Calculations



2025 Chapin Mixed Use Trip Generation									
Land Use	Intensity	Units	Daily	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Retail Land Uses			297	9	5	4	21	11	10
822 - Strip Retail Plaza (<40k)	1.6	KSF	297	9	5	4	21	11	10
Restaurant Land Uses			1,401	106	56	50	125	70	55
934 - Fast-Food Restaurant with Drive-Through Window	1.4	KSF	654	62	32	30	46	24	22
930 - Fast Casual Restaurant	3.2	KSF	311	5	3	2	42	23	19
932 - High-Turnover (Sit-Down) Restaurant	4.1	KSF	436	39	21	18	37	23	14
Other Land Uses			378	32	24	8	47	20	27
941 - Quick Lubrication Vehicle Shop	5.4	KSF	378	32	24	8	47	20	27
Subtotal			2,076	147	85	62	193	101	92
Internal Capture			148	2	1	1	16	8	8
ITE Pass-By			982	30	15	15	32	16	16
Adjacent Street Traffic			15,200	1,800			1,900		
10% Adjacent Street Traffic			1,520	180	90	90	190	95	95
Pass-By			982	30	15	15	32	16	16
Total Net New External Trips			946	115	69	46	145	77	68

Note: Trip generation was calculated using the following data:

Daily Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $T = 42.2 * (X) + (229.68)$; (50 % In; 50 % Out)

Restaurant Land Uses

934 - Fast-Food Restaurant with Drive-Through Window ITE 934 = $T = 467.48 (X)$; (50 % In; 50 % Out)

930 - Fast Casual Restaurant ITE 930 = $T = 97.14 (X)$; (50 % In; 50 % Out)

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 107.2 (X)$; (50 % In; 50 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 69.57 (X)$; (50 % In; 50 % Out)

AM Peak-Hour Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $LN (T) = 0.66 * LN (X) + (1.84)$; (60 % In; 40 % Out)

Restaurant Land Uses

934 - Fast-Food Restaurant with Drive-Through Window ITE 934 = $T = 44.61 (X)$; (51 % In; 49 % Out)

930 - Fast Casual Restaurant ITE 930 = $T = 1.43 (X)$; (50 % In; 50 % Out)

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 9.57 (X)$; (55 % In; 45 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 5.8 (X)$; (75 % In; 25 % Out)

PM Peak-Hour Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $LN (T) = 0.71 * LN (X) + (2.72)$; (50 % In; 50 % Out)

Restaurant Land Uses

934 - Fast-Food Restaurant with Drive-Through Window ITE 934 = $T = 33.03 (X)$; (52 % In; 48 % Out)

930 - Fast Casual Restaurant ITE 930 = $T = 17.96 * (X) + (-15.94)$; (55 % In; 45 % Out)

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 9.05 (X)$; (61 % In; 39 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 8.7 (X)$; (42 % In; 58 % Out)



Attachment C – 2024 Trip Generation Calculations

2024 Chapin Mixed Use Trip Generation									
Land Use	Intensity	Units	Daily	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Retail Land Uses			297	9	5	4	21	11	10
822 - Strip Retail Plaza (<40k)	1.6	KSF	297	9	5	4	21	11	10
Restaurant Land Uses			1,308	98	52	46	117	65	52
934 - Fast-Food Restaurant with Drive-Through Window	1.4	KSF	654	62	32	30	46	24	22
930 - Fast Casual Restaurant	3.2	KSF	311	5	3	2	42	23	19
932 - High-Turnover (Sit-Down) Restaurant	3.2	KSF	343	31	17	14	29	18	11
Other Land Uses			278	23	17	6	35	15	20
941 - Quick Lubrication Vehicle Shop	4.0	KSF	278	23	17	6	35	15	20
Subtotal			1,883	130	74	56	173	91	82
Internal Capture			148	2	1	1	16	8	8
ITE Pass-By			913	30	15	15	30	15	15
<i>Adjacent Street Traffic</i>			15,200	1,800			1,900		
<i>10% Adjacent Street Traffic</i>			1,520	180	90	90	190	95	95
Pass-By			913	30	15	15	30	15	15
Total Net New External Trips			822	98	58	40	127	68	59
Note: Trip generation was calculated using the following data:									
<u>Daily Traffic Generation</u>									
Retail Land Uses									
822 - Strip Retail Plaza (<40k)			ITE 822	=	T = 42.2 * (X) + (229.68); (50 % In; 50 % Out)				
Restaurant Land Uses									
934 - Fast-Food Restaurant with Drive-Through Window			ITE 934	=	T = 467.48 (X); (50 % In; 50 % Out)				
930 - Fast Casual Restaurant			ITE 930	=	T = 97.14 (X); (50 % In; 50 % Out)				
932 - High-Turnover (Sit-Down) Restaurant			ITE 932	=	T = 107.2 (X); (50 % In; 50 % Out)				
Other Land Uses									
941 - Quick Lubrication Vehicle Shop			ITE 941	=	T = 69.57 (X); (50 % In; 50 % Out)				
<u>AM Peak-Hour Traffic Generation</u>									
Retail Land Uses									
822 - Strip Retail Plaza (<40k)			ITE 822	=	LN (T) = 0.66 * LN (X) + (1.84); (60 % In; 40 % Out)				
Restaurant Land Uses									
934 - Fast-Food Restaurant with Drive-Through Window			ITE 934	=	T = 44.61 (X); (51 % In; 49 % Out)				
930 - Fast Casual Restaurant			ITE 930	=	T = 1.43 (X); (50 % In; 50 % Out)				
932 - High-Turnover (Sit-Down) Restaurant			ITE 932	=	T = 9.57 (X); (55 % In; 45 % Out)				
Other Land Uses									
941 - Quick Lubrication Vehicle Shop			ITE 941	=	T = 5.8 (X); (75 % In; 25 % Out)				
<u>PM Peak-Hour Traffic Generation</u>									
Retail Land Uses									
822 - Strip Retail Plaza (<40k)			ITE 822	=	LN (T) = 0.71 * LN (X) + (2.72); (50 % In; 50 % Out)				
Restaurant Land Uses									
934 - Fast-Food Restaurant with Drive-Through Window			ITE 934	=	T = 33.03 (X); (52 % In; 48 % Out)				
930 - Fast Casual Restaurant			ITE 930	=	T = 17.96 * (X) + (-15.94); (55 % In; 45 % Out)				
932 - High-Turnover (Sit-Down) Restaurant			ITE 932	=	T = 9.05 (X); (61 % In; 39 % Out)				
Other Land Uses									
941 - Quick Lubrication Vehicle Shop			ITE 941	=	T = 8.7 (X); (42 % In; 58 % Out)				



Attachment D – 2022 Trip Generation Calculations

2022 Chapin Mixed Use Trip Generation									
Land Use	Intensity	Units	Daily	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Retail Land Uses			327	11	7	4	27	14	13
822 - Strip Retail Plaza (<40k)	2.3	KSF	327	11	7	4	27	14	13
Restaurant Land Uses			1,874	259	134	125	144	78	66
932 - High-Turnover (Sit-Down) Restaurant	5.54	KSF	594	53	29	24	50	31	19
937 - Coffee/Donut Shop with Drive-Through Window	2.4	KSF	1,280	206	105	101	94	47	47
Other Land Uses			278	23	17	6	35	15	20
941 - Quick Lubrication Vehicle Shop	4.0	KSF	278	23	17	6	35	15	20
Subtotal			2,479	293	158	135	206	107	99
Internal Capture			162	4	2	2	22	11	11
ITE Pass-By			385	0	0	0	14	7	7
<i>Adjacent Street Traffic</i>			15,200	1,800			1,900		
<i>10% Adjacent Street Traffic</i>			1,520	180	90	90	190	95	95
Pass-By			385	0	0	0	14	7	7
Total Net New External Trips			1,932	289	156	133	170	89	81

Note: Trip generation was calculated using the following data:

Daily Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $T = 42.2 * (X) + (229.68)$; (50 % In; 50 % Out)

Restaurant Land Uses

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 107.2 (X)$; (50 % In; 50 % Out)
 937 - Coffee/Donut Shop with Drive-Through Window ITE 937 = $T = 533.37 (X)$; (50 % In; 50 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 69.57 (X)$; (50 % In; 50 % Out)

AM Peak-Hour Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $LN (T) = 0.66 * LN (X) + (1.84)$; (60 % In; 40 % Out)

Restaurant Land Uses

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 9.57 (X)$; (55 % In; 45 % Out)
 937 - Coffee/Donut Shop with Drive-Through Window ITE 937 = $T = 85.88 (X)$; (51 % In; 49 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 5.8 (X)$; (75 % In; 25 % Out)

PM Peak-Hour Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $LN (T) = 0.71 * LN (X) + (2.72)$; (50 % In; 50 % Out)

Restaurant Land Uses

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 9.05 (X)$; (61 % In; 39 % Out)
 937 - Coffee/Donut Shop with Drive-Through Window ITE 937 = $T = 38.99 (X)$; (50 % In; 50 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 8.7 (X)$; (42 % In; 58 % Out)

Certificate Of Completion

Envelope Id: 7FF34092-2792-4039-893E-E323DBACB309	Status: Completed
Subject: Complete with Docusign: ChapinMixedUse_TrafficMemo_250924.pdf	
Source Envelope:	
Document Pages: 12	Signatures: 1
Certificate Pages: 1	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Joseph Robertson
Time Zone: (UTC-05:00) Eastern Time (US & Canada)	421 Fayetteville St
	Suite 600
	Raleigh, NC 27601
	Joseph.Robertson@kimley-horn.com
	IP Address: 137.83.222.238

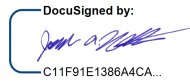
Record Tracking

Status: Original	Holder: Joseph Robertson	Location: DocuSign
9/24/2025 6:28:15 PM	Joseph.Robertson@kimley-horn.com	

Signer Events

Joseph Robertson
 Joseph.Robertson@kimley-horn.com
 Security Level: Email, Account Authentication (None)

Signature



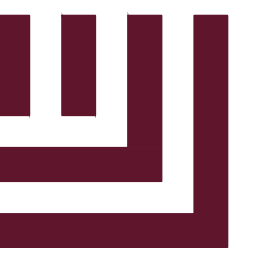
Signature Adoption: Uploaded Signature Image
 Using IP Address: 137.83.222.238

Timestamp

Sent: 9/24/2025 6:28:53 PM
 Viewed: 9/24/2025 6:29:07 PM
 Signed: 9/24/2025 6:29:14 PM

Electronic Record and Signature Disclosure:
 Not Offered via Docusign

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	9/24/2025 6:28:53 PM
Certified Delivered	Security Checked	9/24/2025 6:29:07 PM
Signing Complete	Security Checked	9/24/2025 6:29:14 PM
Completed	Security Checked	9/24/2025 6:29:14 PM
Payment Events	Status	Timestamps



McAdams

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972. 436. 9712
fax 972. 436. 9715
TBPE: F-19762 TBPLS: F-10194440
SC license number: 552, 402
www.mcadamsco.com

CONTACT

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BYOUNGBLOOD@MCADAMSCO.COM
PHONE: 501.840.0001

CLIENT

JUSTIN DUCK
1880 SOUTH PARK DRIVE
BIRMINGHAM, AL 35244
PHONE: 205.906.2006



EXPRESS OIL - CHAPIN, SC
CONSTRUCTION PLANS
XX COLUMBIA AVENUE
CHAPIN, SOUTH CAROLINA 29036



REVISIONS

NO.	DATE	DESCRIPTION
1	07.15.2025	1ST SUBMITTAL
2	08.19.2025	2ND SUBMITTAL

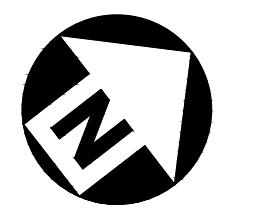
PLAN INFORMATION

PROJECT NO. EXO25002
FILENAME EXO25002-S1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1"=20'
DATE 08.19.2025

SHEET

SITE PLAN

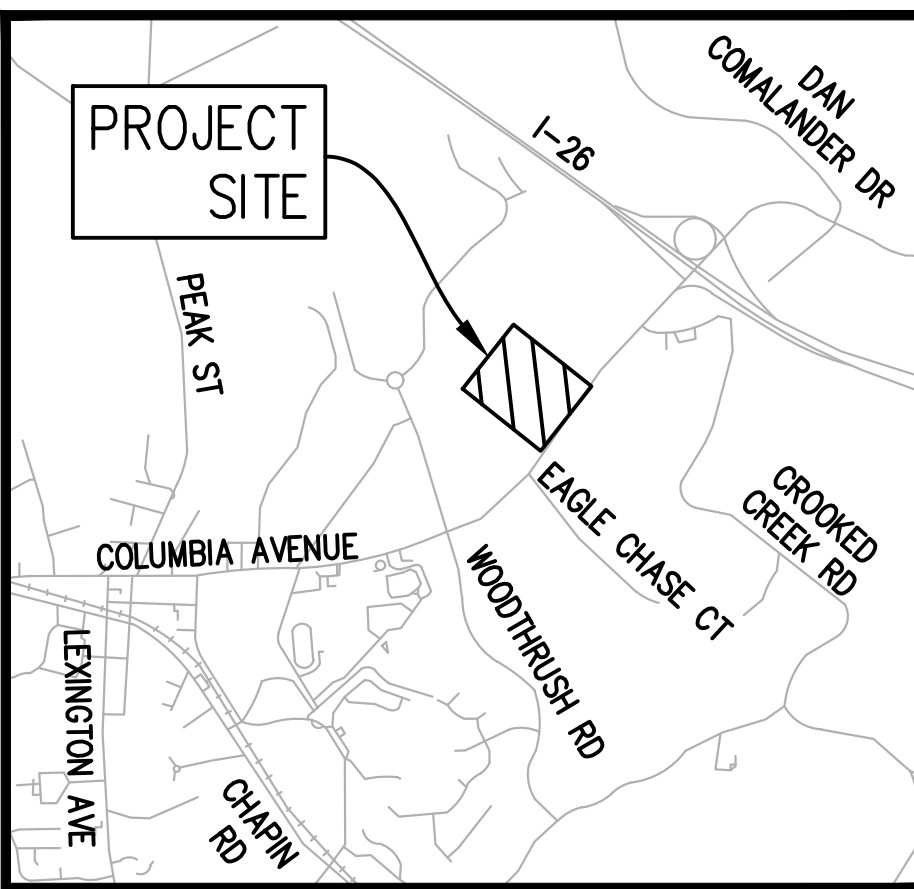
C2.00



GRAPHIC SCALE
0 10 20 40
1 inch = 20 ft.

SITE LEGEND

- TRAFFIC DIRECTIONAL ARROW
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- SIGNAGE
- CURB INLET
- GRATE INLET
- TRENCH DRAIN
- PROPERTY LINE
- EASEMENT LINE
- SETBACK AND BUFFER LINES
- FIRELANE STRIPING



VICINITY MAP
N.T.S.

BENCHMARKS:

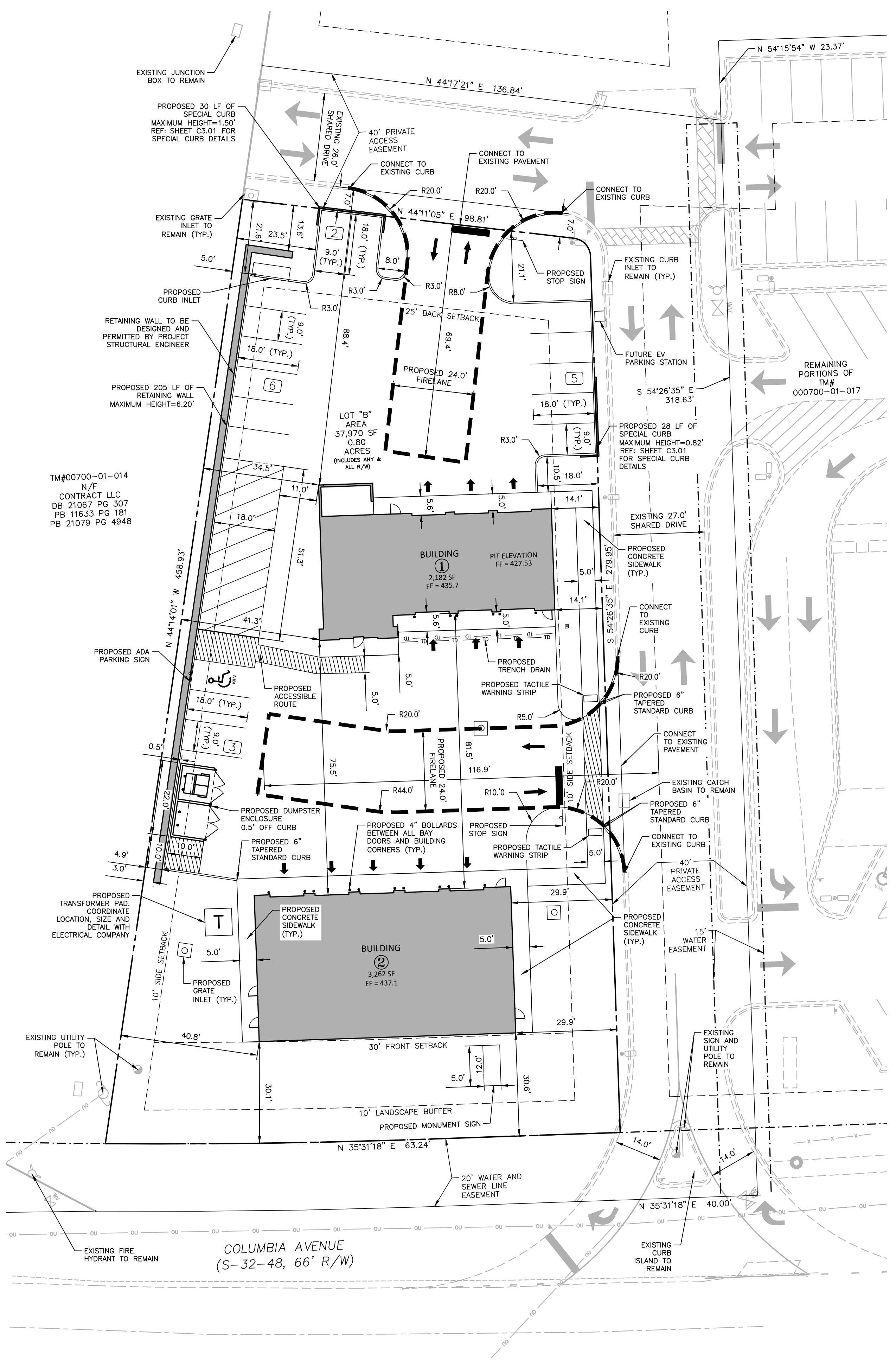
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BM #2: N851096.14 E 1899682.09 ; ELEV: 431.90 SC GRID, NAD83/NAVD88

SITE PLAN NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST LEXINGTON COUNTY AND/OR SCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "SC811" (811) OR 1-888-721-7877 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "SC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE LEXINGTON COUNTY PUBLIC WORKS DEPARTMENT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER IF REQUIRED. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR DIMENSIONAL PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS PLAN SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF LEXINGTON COUNTY AND SOUTH CAROLINA SPECIFICATIONS AND STANDARDS.
- VERIFY ELECTRICAL REQUIREMENTS OF ABOVE GROUND HEATED ENCLOSURES, SITE LIGHTS, SIGNS THAT REQUIRE ELECTRICAL SERVICE WITH ELECTRICAL PLANS AND NOTIFY PROJECT ELECTRICAL ENGINEER OF MISSING INFORMATION.
- SIGNS TO BE PERMITTED SEPARATELY.

SITE DATA TABLE

PHYSICAL ADDRESS	TBD
LEGAL DESCRIPTION	PORTION OF TMS#00700-01-017 PARCEL A2 LOT B
GROSS SITE AREA	0.80 ACRES
NET SITE AREA	0.87 ACRES
ZONING	COMMERCIAL CORRIDOR (CC)
CURRENT USE	NONE - UNDEVELOPED
PROPOSED USED	AUTO REPAIR SERVICE
FRONT SETBACK	30'
REAR SETBACK	25'
SIDE SETBACK	REQUIRED 10' / PROVIDED 15'
LANDSCAPE BUFFER	10' FRONT AND SIDE YARD
LOT COVERAGE DATA	
BUILDING COVERAGE	0.125 AC 15.4%
IMPERVIOUS AREA	0.558 AC 68.6%
PERVIOUS AREA	0.255 AC 31.4%
PARKING SUMMARY	
REQUIRED PARKING - 6 EMPLOYEES (1 SPACE PER 2 EMPLOYEES AT PEAK SHIFT)	3 SPACES
REQUIRED PARKING - 2957 SF (1 SPACE PER 150 SQUARE FEET OF THE AUTOMOBILE REPAIR SPACE)	20 SPACES
REQUIRED ACCESSIBLE SPACES	1 SPACE
TOTAL REQUIRED PARKING	24 SPACES
OFFSITE (ACCOUNTS FOR SHARED PARKING AGREEMENT)	5 SPACES
STANDARD SPACES PROVIDED	15 SPACES
ACCESSIBLE SPACES PROVIDED	1 SPACE
TOTAL PROVIDED PARKING	16 SPACES
BUILDING DATA	
TOTAL BUILDING SQUARE FOOTAGE BUILDING 1 - 2,182 SF BUILDING 2 - 3,262 SF	5,444 SF
NUMBER OF BUILDING STORIES	1 STORY
MAXIMUM BUILDING HEIGHT	<25 FT



Z:\2025\Projects\EXO25002\04-Production\Engineering\Sheets\EXO25002-S1.dwg, 8/20/2025, Robert Page

ATTACHMENT B – 2022 TRIP GENERATION CALCULATIONS

2022 Chapin Mixed Use Trip Generation									
Land Use	Intensity	Units	Daily	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Retail Land Uses			327	11	7	4	27	14	13
822 - Strip Retail Plaza (<40k)	2.3	KSF	327	11	7	4	27	14	13
Restaurant Land Uses			1,874	259	134	125	144	78	66
932 - High-Turnover (Sit-Down) Restaurant	5.54	KSF	594	53	29	24	50	31	19
937 - Coffee/Donut Shop with Drive-Through Window	2.4	KSF	1,280	206	105	101	94	47	47
Other Land Uses			278	23	17	6	35	15	20
941 - Quick Lubrication Vehicle Shop	4.0	KSF	278	23	17	6	35	15	20
Subtotal			2,479	293	158	135	206	107	99
Internal Capture			162	4	2	2	22	11	11
ITE Pass-By			385	0	0	0	14	7	7
<i>Adjacent Street Traffic</i>			15,200	1,800			1,900		
<i>10% Adjacent Street Traffic</i>			1,520	180	90	90	190	95	95
Pass-By			385	0	0	0	14	7	7
Total Net New External Trips			1,932	289	156	133	170	89	81

Note: Trip generation was calculated using the following data:

Daily Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $T = 42.2 * (X) + (229.68)$; (50 % In; 50 % Out)

Restaurant Land Uses

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 107.2 (X)$; (50 % In; 50 % Out)

937 - Coffee/Donut Shop with Drive-Through Window ITE 937 = $T = 533.37 (X)$; (50 % In; 50 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 69.57 (X)$; (50 % In; 50 % Out)

AM Peak-Hour Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $LN (T) = 0.66 * LN (X) + (1.84)$; (60 % In; 40 % Out)

Restaurant Land Uses

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 9.57 (X)$; (55 % In; 45 % Out)

937 - Coffee/Donut Shop with Drive-Through Window ITE 937 = $T = 85.88 (X)$; (51 % In; 49 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 5.8 (X)$; (75 % In; 25 % Out)

PM Peak-Hour Traffic Generation

Retail Land Uses

822 - Strip Retail Plaza (<40k) ITE 822 = $LN (T) = 0.71 * LN (X) + (2.72)$; (50 % In; 50 % Out)

Restaurant Land Uses

932 - High-Turnover (Sit-Down) Restaurant ITE 932 = $T = 9.05 (X)$; (61 % In; 39 % Out)

937 - Coffee/Donut Shop with Drive-Through Window ITE 937 = $T = 38.99 (X)$; (50 % In; 50 % Out)

Other Land Uses

941 - Quick Lubrication Vehicle Shop ITE 941 = $T = 8.7 (X)$; (42 % In; 58 % Out)

ATTACHMENT C – 2024 TRIP GENERATION CALCULATIONS

2024 Chapin Mixed Use Trip Generation										
Land Use	Intensity	Units	Daily	AM Peak Hour			PM Peak Hour			
				Total	In	Out	Total	In	Out	
Retail Land Uses			297	9	5	4	21	11	10	
822 - Strip Retail Plaza (<40k)	1.6	KSF	297	9	5	4	21	11	10	
Restaurant Land Uses			1,308	98	52	46	117	65	52	
934 - Fast-Food Restaurant with Drive-Through Window	1.4	KSF	654	62	32	30	46	24	22	
930 - Fast Casual Restaurant	3.2	KSF	311	5	3	2	42	23	19	
932 - High-Turnover (Sit-Down) Restaurant	3.2	KSF	343	31	17	14	29	18	11	
Other Land Uses			278	23	17	6	35	15	20	
941 - Quick Lubrication Vehicle Shop	4.0	KSF	278	23	17	6	35	15	20	
Subtotal			1,883	130	74	56	173	91	82	
Internal Capture			148	2	1	1	16	8	8	
ITE Pass-By			913	30	15	15	30	15	15	
<i>Adjacent Street Traffic</i>			15,200	1,800			1,900			
<i>10% Adjacent Street Traffic</i>			1,520	180	90	90	190	95	95	
Pass-By			913	30	15	15	30	15	15	
Total Net New External Trips			822	98	58	40	127	68	59	
Note: Trip generation was calculated using the following data:										
<u>Daily Traffic Generation</u>										
Retail Land Uses										
822 - Strip Retail Plaza (<40k)			ITE 822	=	T = 42.2 * (X) + (229.68); (50 % In; 50 % Out)					
Restaurant Land Uses										
934 - Fast-Food Restaurant with Drive-Through Window			ITE 934	=	T = 467.48 (X); (50 % In; 50 % Out)					
930 - Fast Casual Restaurant			ITE 930	=	T = 97.14 (X); (50 % In; 50 % Out)					
932 - High-Turnover (Sit-Down) Restaurant			ITE 932	=	T = 107.2 (X); (50 % In; 50 % Out)					
Other Land Uses										
941 - Quick Lubrication Vehicle Shop			ITE 941	=	T = 69.57 (X); (50 % In; 50 % Out)					
<u>AM Peak-Hour Traffic Generation</u>										
Retail Land Uses										
822 - Strip Retail Plaza (<40k)			ITE 822	=	LN (T) = 0.66 * LN (X) + (1.84); (60 % In; 40 % Out)					
Restaurant Land Uses										
934 - Fast-Food Restaurant with Drive-Through Window			ITE 934	=	T = 44.61 (X); (51 % In; 49 % Out)					
930 - Fast Casual Restaurant			ITE 930	=	T = 1.43 (X); (50 % In; 50 % Out)					
932 - High-Turnover (Sit-Down) Restaurant			ITE 932	=	T = 9.57 (X); (55 % In; 45 % Out)					
Other Land Uses										
941 - Quick Lubrication Vehicle Shop			ITE 941	=	T = 5.8 (X); (75 % In; 25 % Out)					
<u>PM Peak-Hour Traffic Generation</u>										
Retail Land Uses										
822 - Strip Retail Plaza (<40k)			ITE 822	=	LN (T) = 0.71 * LN (X) + (2.72); (50 % In; 50 % Out)					
Restaurant Land Uses										
934 - Fast-Food Restaurant with Drive-Through Window			ITE 934	=	T = 33.03 (X); (52 % In; 48 % Out)					
930 - Fast Casual Restaurant			ITE 930	=	T = 17.96 * (X) + (-15.94); (55 % In; 45 % Out)					
932 - High-Turnover (Sit-Down) Restaurant			ITE 932	=	T = 9.05 (X); (61 % In; 39 % Out)					
Other Land Uses										
941 - Quick Lubrication Vehicle Shop			ITE 941	=	T = 8.7 (X); (42 % In; 58 % Out)					

100 Percent Petition Form

TO THE MAYOR AND COUNCIL OF THE TOWN OF CHAPIN, SC:

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City/Town by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

[Required: Insert description of territory. The description may be taken from deeds or may be drawn to cover multiple parcels using known landmarks. It should be definitive enough to accurately fix the location.] Property Murray Lindler Rd, Chapin SC 29036 / 14 acres, Plat: SLID:115-0009,
13.71AC

The property is designated as follows on the County tax maps: 000700-06-017

[Recommended: A plat or map of the area should be attached. A tax map may be adequate.]
See exhibit - Attached

[Optional: It is requested that the property be zoned as follows: Residential]



360 Murray Lindler Rd, Chapin, SC 29036

9/17/2025

Signature

Street Address, City


Date

For Municipal Use:

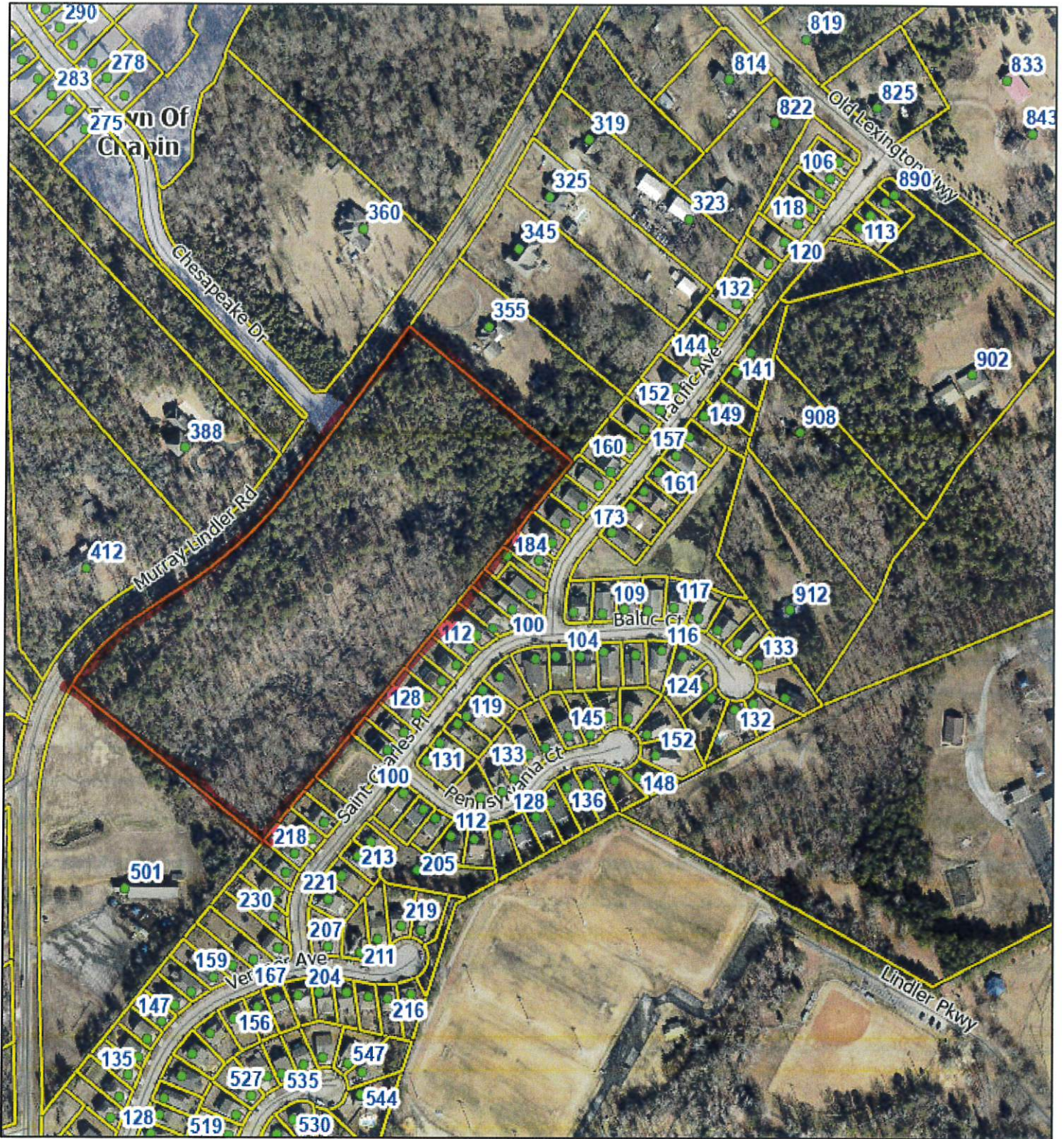
Petition received by R. Radtke, Date 9/17/25

Description and Ownership verified by Reid Radtke, Date 9/18/25

Recommendation Approve annexation 100% form as requested

By: , Date 9/17/25

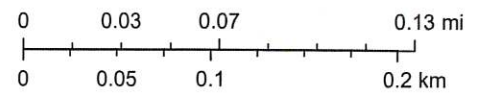
Lexington County Map



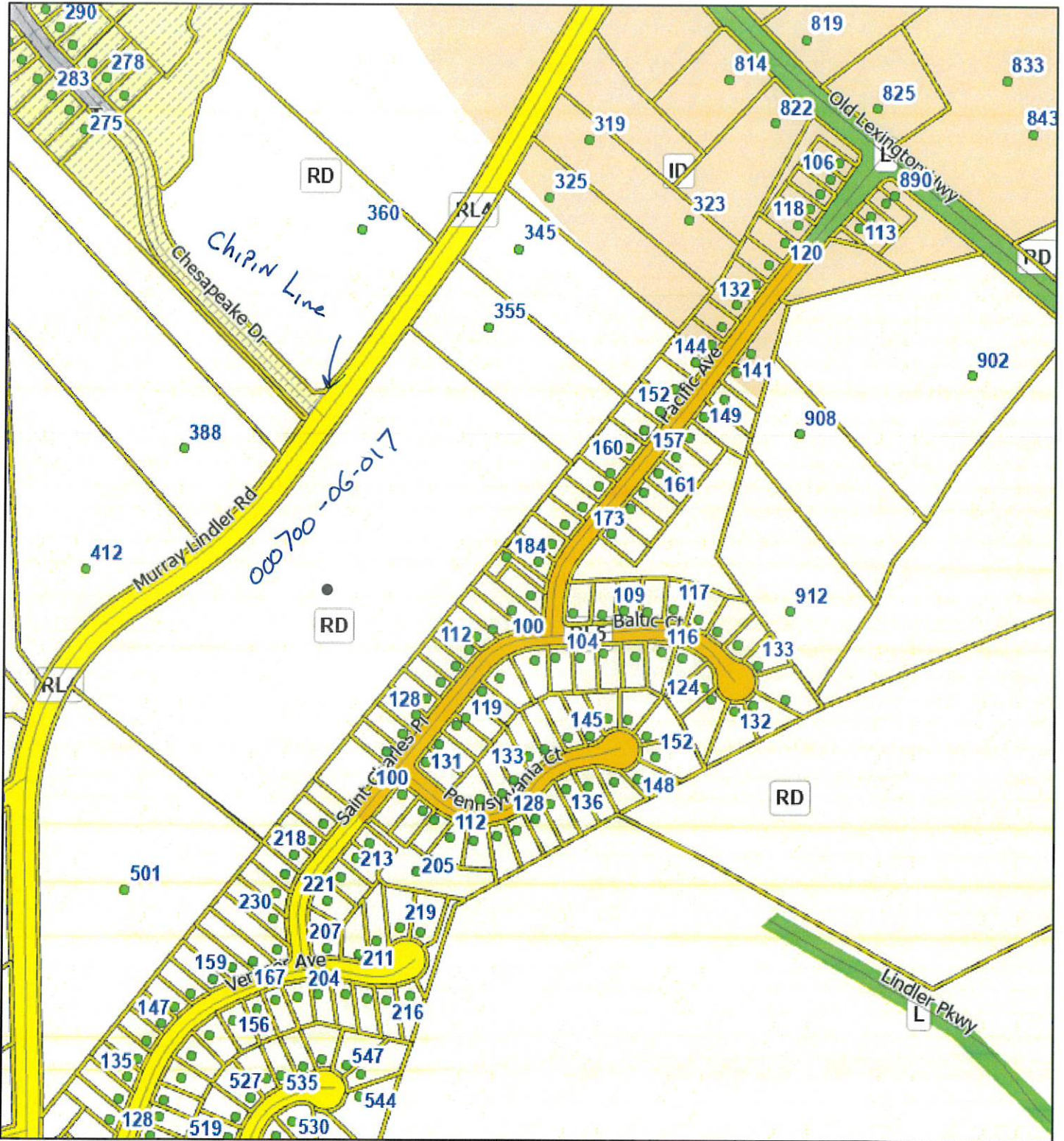
9/19/2025, 1:15:08 PM

1:4,000

- Address Points
 - Existing
- Parcels
- County Boundaries
- Roads
 - Collector
 - Local
- Municipalities
 - Town of Chapin



Lexington County Map



9/19/2025, 1:14:08 PM

- | | |
|----------------|------------------------------|
| Address Points | Chipin Zoning |
| • Existing | Suburban Residential 3 |
| Roads | Zoning |
| — Collector | ID - Intensive Development |
| — Local | RD - Restrictive Development |
| ▭ Parcels | L - Local Street |

